

LARGE SCALE DEVELOPMENT PLANS

HARBOR FREIGHT

2707 W. WALNUT STREET

ROGERS, AR

GENERAL NOTES:

- A. TOPOGRAPHIC BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED BY THE FOLLOWING COMPANY, AS A CONTRACTOR TO THE SELLER/OWNER:
- TOPOGRAPHY: CEI ENGINEERING ASSOCIATES, INC. : 3108 SW REGENCY PARKWAY, SUITE 2, BENTONVILLE, AR 72712.
- B. ALL PHASES OF SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE OWNER / DEVELOPER SITE WORK SPECIFICATIONS.
- C. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND STORAGE TANKS AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED. SEE SITE WORK SPECIFICATIONS.
- D. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- E. THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- F. ~~WARRANTY/DISCLAIMER~~ THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A CONTEMPORANEOUS BASIS AT THE SITE.
- G. ~~SAFETY NOTICE TO CONTRACTOR~~ IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.
- H. ALL CONSTRUCTION IN STATE HIGHWAY DEPARTMENT RIGHT-OF-WAY SHALL BE COORDINATED WITH THE HIGHWAY DEPARTMENT RESIDENT ENGINEER.
- I. WETLANDS NOTE: ANY DEVELOPMENT, EXCAVATION, CONSTRUCTION, OR FILLING IN A U.S. CORPS OF ENGINEERS DESIGNATED WETLAND IS SUBJECT TO LOCAL, STATE AND FEDERAL APPROVALS. THE CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS AND/OR RESTRICTIONS AND ANY VIOLATION WILL BE SUBJECT TO FEDERAL PENALTY. THE CONTRACTOR SHALL HOLD THE OWNER/DEVELOPER, THE ENGINEER AND THE LOCAL GOVERNING AGENCIES HARMLESS AGAINST SUCH VIOLATION.
- J. RESIDENT ENGINEERING SERVICES: WHEN REQUESTED BY THE OWNER, RESIDENT ENGINEERING SERVICES SHALL BE PROVIDED BY THE ENGINEERS (ON A TIME AND FREQUENCY BASIS) ACCEPTABLE TO THE CITY ENGINEER FOR IMPROVEMENTS TO PUBLIC WATER MAINS, PUBLIC SEWER, AND CITY STREETS. AT THE COMPLETION OF CONSTRUCTION, THE ENGINEER SHALL CERTIFY THE CONSTRUCTION TO BE IN COMPLIANCE WITH THE PLANS AND SPECIFICATIONS. THIS WORK WILL BE AT THE OWNER/DEVELOPER'S DIRECT EXPENSE AND SHALL BE COORDINATED WITH CEI ENGINEERING ASSOCIATES, INC. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE RESIDENT ENGINEER OF ANY PRECONSTRUCTION / CONSTRUCTION CONFERENCES AND ANY PUBLIC CONSTRUCTION 24 HOURS PRIOR TO SAID ACTION.

FLOOD CERTIFICATION:

THIS PROPERTY IS NOT LOCATED WITHIN ANY PRESENTLY ESTABLISHED 100-YEAR FLOOD PLAIN, AS SHOWN BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP FOR THE CITY OF ROGERS, COMMUNITY PANEL NUMBER 05007C0260K EFFECTIVE DATE 6/05/2012.

LEGAL DESCRIPTION

LOT 1 SURVEY DESCRIPTION

A PART OF THE SE1/4 OF THE NE1/4 OF SECTION 10, TOWNSHIP 19 NORTH, RANGE 30 WEST, FIFTH PRINCIPAL MERIDIAN, BENTON COUNTY, ARKANSAS, AND BEING DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING AT A FOUND 5/8" REBAR AT THE NORTHEAST CORNER OF TRACT 2 OF THE TRACT SPLIT RECORDED AS PLAT 19-247 AT BENTON COUNTY CIRCUIT CLERK'S OFFICE ON SEPTEMBER 8, 1994, FROM WHICH THE SOUTHEAST CORNER OF SAID SE1/4, NE1/4 BEARS SOUTH 87°02'08" EAST, CROSSING A FOUND 1/2" INCH REBAR AT A DISTANCE OF 199.56 FEET, AND CONTINUING FOR A TOTAL DISTANCE OF 200.00 FEET, AND SOUTH 02°12'48" WEST, A DISTANCE OF 345.11 FEET; THENCE ALONG THE NORTH BOUNDARY OF SAID TRACT 2, NORTH 87°02'08" WEST, A DISTANCE OF 129.22 FEET TO A FOUND 5/8" INCH REBAR AT THE NORTHWEST CORNER OF SAID TRACT 2; THENCE SOUTH 02°30'03" WEST, A DISTANCE OF 15.90 FEET TO THE POINT OF BEGINNING;

THENCE SOUTH 02°30'03" WEST, A DISTANCE OF 290.10 FEET TO A SET MAG NAIL WITH WASHER LS 1759 AT THE NORTH RIGHT-OF-WAY OF WEST WALNUT ST, A.K.A. HWY 71B ACCORDING TO AHTD JOB NO. R60014 AND DOC. NO. 97-019786; THENCE ALONG SAID RIGHT-OF-WAY, NORTH 87°02'42" WEST, A DISTANCE OF 120.00 FEET TO A SET 5/8" INCH REBAR WITH CAP "LS 1759"; THENCE DEPARTING SAID RIGHT-OF-WAY, NORTH 02°30'02" EAST, A DISTANCE OF 290.01 FEET TO SET 5/8" INCH REBAR WITH CAP "LS 1759"; THENCE SOUTH 87°05'23" EAST, CROSSING A SET 5/8" INCH REBAR WITH CAP "LS 1759" AT A DISTANCE OF 100.00 FEET, AND CONTINUING FOR A TOTAL DISTANCE OF 120.00 FEET TO THE POINT OF BEGINNING, CONTAINING 34.908 SQUARE FEET OR 0.80 ACRES, MORE OR LESS, SUBJECT TO ANY EASEMENTS, COVENANTS OR RESTRICTIONS OF RECORD OR FACT.

LOT 2 SURVEY DESCRIPTION

A PART OF THE SE1/4 OF THE NE1/4 OF SECTION 10, TOWNSHIP 19 NORTH, RANGE 30 WEST, FIFTH PRINCIPAL MERIDIAN, BENTON COUNTY, ARKANSAS, BEING A PORTION OF TRACT 2 OF THE TRACT SPLIT RECORDED AS PLAT 19-247 AT BENTON COUNTY CIRCUIT CLERK'S OFFICE ON SEPTEMBER 8, 1994, AND BEING DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A FOUND 5/8" REBAR BEING THE NORTHEAST CORNER OF SAID TRACT 2, FROM WHICH THE SOUTHEAST CORNER OF SAID SE1/4, NE1/4 BEARS SOUTH 87°02'08" EAST, CROSSING A FOUND 1/2" INCH REBAR AT A DISTANCE OF 199.56 FEET AND CONTINUING FOR A TOTAL DISTANCE OF 200.00 FEET, AND SOUTH 02°12'48" WEST, A DISTANCE OF 345.11 FEET; THENCE ALONG THE EAST BOUNDARY OF SAID TRACT 2, SOUTH 02°12'47" WEST, A DISTANCE OF 306.00 FEET TO A SET 5/8" INCH REBAR WITH CAP "LS 1759" AT THE NORTH RIGHT-OF-WAY OF WEST WALNUT ST, A.K.A. HWY 71B ACCORDING TO AHTD JOB NO. R60014 AND DOC. NO. 97-019786; THENCE ALONG SAID RIGHT-OF-WAY, NORTH 87°02'42" WEST, A DISTANCE OF 130.76 FEET TO A SET MAG NAIL WITH WASHER "LS 1759"; THENCE DEPARTING SAID RIGHT-OF-WAY AND CONTINUING ALONG THE WEST BOUNDARY OF SAID TRACT 2, NORTH 02°30'03" EAST, DISTANCE OF 306.00 FEET TO A FOUND 5/8" INCH REBAR AT THE NORTHWEST CORNER OF SAID TRACT 2; THENCE ALONG THE NORTH BOUNDARY OF SAID TRACT 2, SOUTH 87°02'08" EAST, A DISTANCE OF 129.22 FEET TO THE POINT OF BEGINNING, CONTAINING 39.775 SQUARE FEET OR 0.91 ACRES, MORE OR LESS, SUBJECT TO ANY EASEMENTS, COVENANTS OR RESTRICTIONS OF RECORD OR FACT.



Vicinity Map

Not to Scale

PLAN INDEX:

1. COVER SHEET
2. SITE PLAN
3. DEMOLITION PLAN
4. GRADING PLAN
5. EROSION CONTROL PLAN
6. UTILITY PLAN
7. LANDSCAPE PLAN
8. DETAIL SHEET 1
9. DETAIL SHEET 2
10. DETAIL SHEET 3

APPROVED

CITY OF ROGERS

DATE

RESOURCE LIST:

ROGERS PLANNING & TRANSPORTATION

DEPT.
301 W. CHESTNUT STREET
ROGERS, AR 72756
(479) 621-1186
SUE CLOUSER
SC3738@ATT.COM

ROGERS WATER UTILITIES

P.O. BOX 536
601 SOUTH SECOND STREET
ROGERS, AR 72757
(479) 936-5425
EARL RAUSCH

COX CABLE COMPANY

4901 SOUTH 48TH ST.
SPRINGDALE, AR 72762
(479) 717-3608
DOUG ELLISON

A&L

627 WHITE ROAD
SPRINGDALE, AR
479-442-3107
SUE CLOUSER
SC3738@ATT.COM

TEMPORARY AND PERMANENT POWER

NEW SERVICE DEPARTMENT
(479) 273-2421 EXT. 2692

WASTE MANAGEMENT
P.O. BOX 1310 11979 ARBOR ACRES ROAD
SPRINGDALE, ARKANSAS 72764

(479) 443-5558
STEVE BROOKS

ROGERS INSPECTION DEPARTMENT

201 WEST ELM STREET
ROGERS, AR 72756
(479) 621-1100
MIKE ROUSE

STORMWATER

CITY OF ROGERS
301 W. CHESTNUT STREET
ROGERS, AR 72756-9256
(479) 621-1186
LANCE JOBE

ROGERS FIRE DEPARTMENT

201 NORTH FIRST STREET
ROGERS, AR 72756
(479) 621-1179
TOM JENKINS, FIRE CHIEF

SOURCEGAS

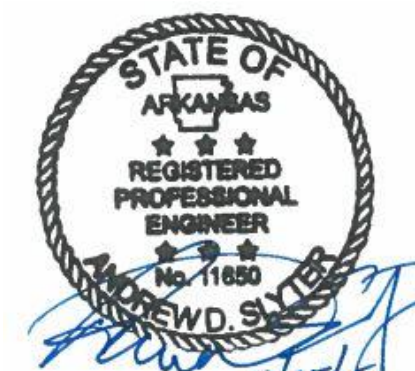
KENNETH PETERS
219 N. 3RD ST
ROGERS, AR 72757
(479) 636-1759 EXT 6021

NOTE TO CONTRACTOR:
A PRE-CONSTRUCTION MEETING WITH THE ROGERS BUILDING DEPARTMENT IS REQUIRED PRIOR TO ISSUANCE OF A BUILDING PERMIT.

NOTE TO CONTRACTOR:
A PRE-CONSTRUCTION MEETING WITH ROGERS PLANNING DEPARTMENT IS REQUIRED PRIOR TO ISSUANCE OF A GRADING PERMIT. ALL PHASE I EROSION CONTROL MEASURES MUST BE INSTALLED PRIOR TO THE MEETING AND A REDUCED SET OF APPROVED CONSTRUCTION PLANS (11x17) WILL BE REQUIRED.



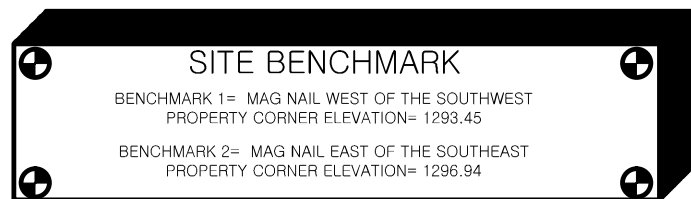
Arkansas * California * Minnesota * Pennsylvania * Texas



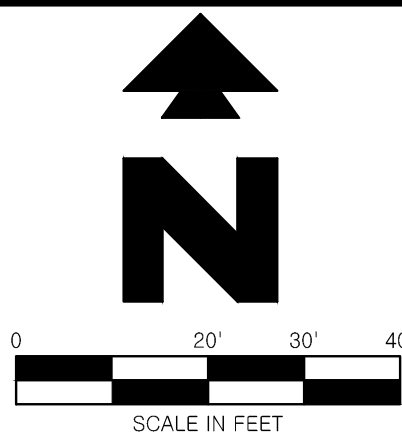
JOB NO.: 29128
DWG NAME: 29128-CS
DATE: 11/24/15
4:49 PM
REV: 0
SHEET NO.: C1



Know what's below.
Call before you dig.



NOTE:
SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF
PORCHES, VESTIBULES, SLOPED PAVING, TRUCK DOCKS, BUILDING
UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.



LEGEND

EXISTING

<i>e</i>	EAST OR ELECTRIC	<i>OHT</i>	OVERHEAD TELEPHONE
<i>n</i>	NORTH	<i>OHTV</i>	OVERHEAD TV
<i>oh</i>	OVERHEAD	<i>X'SS</i>	SANITARY SEWER
<i>s</i>	SOUTH OR SEWER	<i>UGE</i>	UNDERGROUND ELECTRIC
<i>t</i>	TELEPHONE	<i>UGE&T</i>	UNDERGROUND ELECTRIC AND TELEPHONE
<i>ug</i>	UNDERGROUND	<i>UGT</i>	UNDERGROUND TELEPHONE
<i>w</i>	WEST OR WATER	<i>UGTV</i>	UNDERGROUND TV
<i>---</i>	PROPERTY LINE	<i>X'W</i>	WATER
<i>---</i>	RIGHT OF WAY LINE		
<i>---</i>	STORM DRAIN		
<i>X'G</i>	GAS		
<i>OHE</i>	OVERHEAD ELECTRIC		
<i>OHE&T</i>	OVERHEAD ELECTRIC AND TELEPHONE		

PROPOSED

<i>---</i>	PROPERTY LINE/RIGHT OF WAY LINE
<i>---</i>	CONCRETE CURB AND GUTTER. SEE DETAIL 01A/01B.
<i>#</i>	PROPOSED PARKING SPACES
<i>---</i>	LIMITS OF SIDEWALKS AND CONCRETE APRONS (PER ARCH. PLANS)

GENERAL SITE NOTES

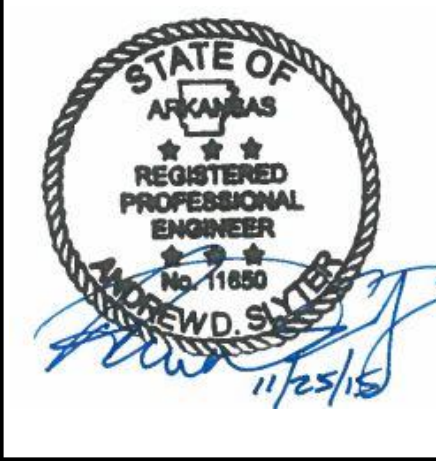
- ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL CURB RETURN RADI SHALL BE 2' OR 10', AS SHOWN TYPICAL ON THIS PLAN, UNLESS OTHERWISE NOTED.
- UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN THE SPECIFICATIONS: ALL CURB AND GUTTER ADJACENT TO ASPHALT PAVING SHALL BE INSTALLED PER DETAIL 01A. ALL CURBING ADJACENT TO CONCRETE PAVING SHALL BE INSTALLED PER DETAIL 01B. ALL PARKING LOT STRIPING INCLUDING ACCESSIBLE AND VAN ACCESSIBLE SPACES SHALL BE PAINTED PER DETAIL 09U.
- ALL PARKING LOT SIGN BASE SUPPORTS SHALL BE INSTALLED PER DETAIL 12F.
- ALL ACCESSIBLE PARKING STALLS SHALL HAVE SIGNAGE INSTALLED PER DETAIL 09S.
- PAVING DESIGN TO BE DESIGNED PER GEO-TECH SPECIFICATIONS WHEN COMPLETED.

SITE NOTES

- 02E TRASH DUMPSTER ENCLOSURE (PER ARCH. PLANS).
12A 4 INCH TRAFFIC YELLOW LANE STRIPE (SEE LENGTH INDICATED AT SYMBOL).
12D 4 INCH WIDE PAINTED YELLOW STRIPES, 2.0 FOOT O.C. @ 45 DEGREES (SEE SIZE INDICATED AT SYMBOL).
12F PEDESTRIAN CROSSING-4 INCH WIDE PAINTED YELLOW STRIPES, 2.0 FOOT O.C. @ 45 DEGREES (SEE SIZE INDICATED AT SYMBOL).
16E MONUMENT SIGN (TO BE FURNISHED AND INSTALLED BY OTHERS).
18D MATCH EXISTING PAVEMENT ELEVATIONS.
20A REPLACE/RESTORE CURBS PER LOCAL CODES TO MATCH EXISTING.
21A TAPER CURB TO MATCH EXISTING CURB.
21B TAPER CURB FROM 6 INCHES TO 0 INCHES OVER 2 FEET.
51B LIMITS OF SAWCUT AND PAVEMENT REMOVAL.
70A CONCRETE RECEIVING PAD (PER ARCH. PLANS).
70B NEW HVAC UNIT PAD (PER ARCH. PLANS).
70C GUARD POST (PER ARCH. DETAILS).
70D LIGHT POLES (PER ARCH. PLANS).

SITE DETAILS

- 01A TYPE A CONCRETE CURB AND GUTTER
02A PRECAST CONCRETE WHEEL STOP
03E CONCRETE SIDEWALK AT BACK OF CURB
03K CONCRETE SIDEWALK
07L 6" WOOD FENCE
08B HEAVY DUTY ASPHALT PAVING
08C HEAVY DUTY CONCRETE PAVING
09N 90 DEGREE PARKING
09S ACCESSIBLE / VAN ACCESSIBLE PARKING SIGN
09U ACCESSIBLE PARKING SYMBOL (SEE PAINT COLOR INDICATED AT SYMBOL)
10B STOP BAR
12G STOP SIGN
14A CONCRETE SWALE
17A CURB CUT
70A DISTRICT NINE DRIVEWAY & ISLAND DETAIL
70B WHEELCHAIR RAMP IN SIDEWALK



29128	11/25/15	ADS	8:10	JPS	JPS
CEI PROJECT NO.	INITIAL DATE	DPOR	PM	DES	DRW
CEI Engineering Associates, Inc.					
ENGINEERS • PLANNERS LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS					
3030 LBJ Freeway, Suite 100 Dallas, TX 75234					
(972) 488-3737 FAX (972) 488-6732					
HARBOR FREIGHT					
2707 W. WALNUT STREET					
ROGERS AR					
SITE PLAN					
REV DATE 11/25/15 REV-0		SHEET NO. C2			

JOB # 29128 DRAWING: 29128-TOPO-BNDY-RO.dwg LAST SAVED BY: NEDKOV

NOTES:

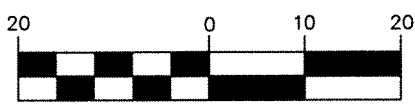
- This survey does not purport to be a proposed tract split, replat or any other subdivision plat as may be defined by city, county, or state law. The land owner is encouraged to check with the local planning/development authorities for proper platting procedures before proceeding with this development.
- Every document of record reviewed and considered as a part of this survey is noted hereon. Only the documents noted hereon were supplied the surveyor.
- This plat represents a boundary survey of parcels recorded in Deed Records, Doc. No. 01011487 in the public records of Benton County, AR.
- Basis of Bearings: NAD 83 State Plane Coordinate System Arkansas North Zone utilizing CEI reference station and checking City of Rogers GPS Monument No. 12.
- Basis of Elevation: NAVD 88 utilizing CEI reference station and localizing at City of Rogers GPS Monument No. 12.
- Site Bench Mark: See Benchmark Table.
- This survey is valid only if the drawing includes the seal and signature of the surveyor.
- This survey meets current "Arkansas Minimum Standards of Practice for Property Boundary Surveys and Plats."
- No abstract of title, nor title commitment, nor results of title searches were furnished the surveyor. There may exist other documents of record which would affect this parcel.
- A title search was not conducted by a certified title company. All documents were provided by the client/clients and/or researched by CEI Engineering Associates, Inc., and may be subject to record/unrecorded, easements, rights of way, covenants, building setback lines, subdivision restrictions, zoning, and regulations or other facts which on accurate and current title search may reveal.
- This property is zoned C-2 (Highway Commercial District). Building setbacks for zone C-2 are as follows:

Front	65 Feet
Side(Interior)	15 Feet
Side(R.O.W)	45 Feet
Rear	15 Feet

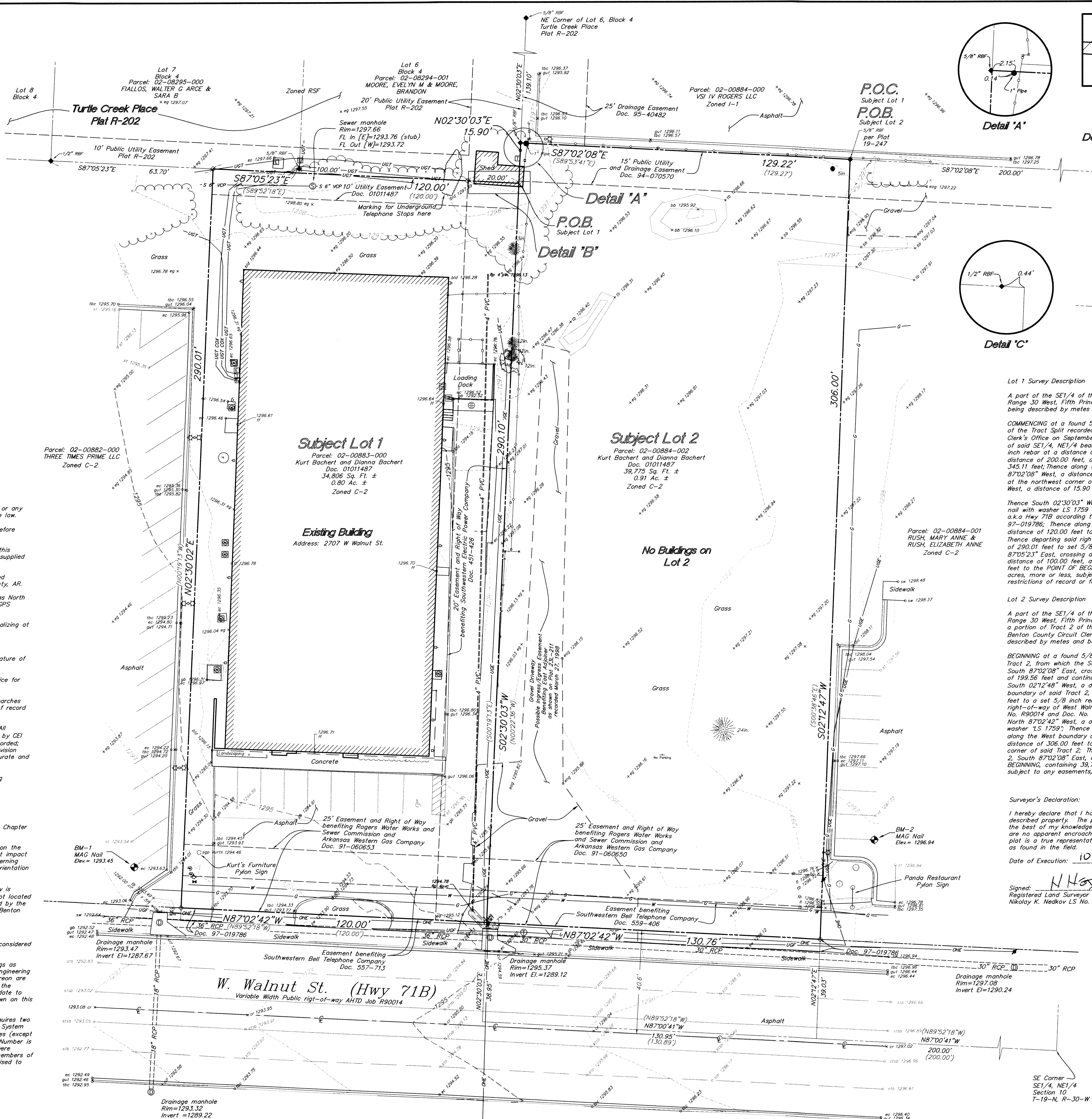
Subject Tracts are subject to City of Rogers Highway Overlay District Chapter 130 Art. 4
- No attempt was made to show building setback lines graphically on the survey. The assignment, vacation, or orientation of setbacks that impact the usage rights of the property are determined by the local governing jurisdictional agency. Setback dimensions will be based on the orientation of the building(s) to be constructed as approved.
- By scaled map location and graphical plotting only. This property is located in Zone "X" which are areas of 0.2% chance flood and not located within any presently established 100-year floodplain as determined by the National Flood Insurance Program, Flood Insurance Rate Map for Benton County, Arkansas.
Map Number: 05007C0260K
Map Revised: June 5, 2012
- Subsurface and environmental conditions were not examined nor considered a part of this survey.
- Underground utilities were located by visible above ground markings as marked by utility locators and shown hereon as located by CEI Engineering Associates, Inc. survey field crews. All utility locations shown hereon are approximate. All utilities may not have been marked/located by the appropriate locators. No excavation has taken place as of this date to determine the exact location of existing underground utilities shown on this survey.
- Arkansas State Law. The Underground Facilities Damage Act, requires two working days advance notification through the Arkansas One-Call System Center before excavating using mechanized equipment or explosives (except in the case of an emergency). The One-Call System Telephone Number is 1-800-482-8988. The contractor is advised that there is a severe penalty for not making this call. Not all utility companies are members of the Arkansas One-Call System. Therefore the contractor is advised to contact all non-members as well as the One-Call System.

Benchmark Table			
Northing	Easting	Elevation	Description
7353322.59	677853.68	1293.45	BM 1
7353332.73	678143.76	1296.94	BM 2

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.
Convergence -1' 15" 11"
Combined Scale Factor 0.999964094
Computed for found 5/8" rebar at the
Northeast corner of Subject Lot 2
N 735599.46
E 678134.38
E=1297.05'



Lot 1 Survey Description

A part of the SE 1/4 of the NE 1/4 of Section 10, Township 19 North, Range 30 West, Fifth Principal Meridian, Benton County, Arkansas, and being described by metes and bounds as follows:

COMMENCING at a found 5/8" rebar at the Northeast corner of Tract 2 of the Tract Split recorded as Plat 19-247 at Benton County Circuit Clerk's Office on September 8, 1994, from which the Southeast corner of said SE 1/4, NE 1/4 bears South 87°02'08" East, crossing a found 1/2 inch rebar at a distance of 199.56 feet, and continuing for a total distance of 200.00 feet, and South 02°12'48" West, a distance of 345.11 feet; Thence along the North boundary of said Tract 2, North 87°02'08" East, a distance of 129.22 feet to a found 5/8 inch rebar at the northwest corner of said Tract 2; Thence South 02°30'03" West, a distance of 15.90 feet to the POINT OF BEGINNING;

Thence South 02°30'03" West, a distance of 290.10 feet to a set mag nail with washer LS 1759 at the North right-of-way of West Walnut St. s.k.a. Hwy 71B according to AHTD Job No. R90014 and Doc. No. 97-019786; Thence along said right-of-way, North 87°02'42" West, a distance of 120.00 feet to a set 5/8 inch rebar with cap LS 1759; Thence departing said right-of-way, North 02°30'02" East, a distance of 290.01 feet to set 5/8 inch rebar with cap LS 1759; Thence South 87°05'23" East, crossing a set 5/8 inch rebar with cap LS 1759 at a distance of 100.00 feet, and continuing for a total distance of 120.00 feet to the POINT OF BEGINNING, containing 34,806 square feet or 0.80 acres, more or less, subject to any easements, covenants or restrictions of record or fact.

Lot 2 Survey Description

A part of the SE 1/4 of the NE 1/4 of Section 10, Township 19 North, Range 30 West, Fifth Principal Meridian, Benton County, Arkansas, being a portion of Tract 2 of the Tract Split recorded as Plat 19-247 at Benton County Circuit Clerk's Office on September 8, 1994, and being described by metes and bounds as follows:

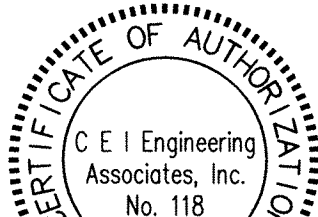
BEGINNING at a found 5/8" rebar being the Northeast corner of said Tract 2, from which the Southeast corner of said SE 1/4, NE 1/4 bears South 87°02'08" East, crossing a found 1/2 inch rebar at a distance of 199.56 feet and continuing for a total distance of 200.00 feet, and South 02°12'48" West, a distance of 345.11 feet; Thence along the East boundary of said Tract 2, South 02°12'47" West, a distance of 306.00 feet to a set 5/8 inch rebar with cap LS 1759 at the north right-of-way of West Walnut St. s.k.a. Hwy 71B according to AHTD Job No. R90014 and Doc. No. 97-019786; Thence along said right-of-way, North 87°02'42" West, a distance of 130.76 feet to a set mag nail with washer LS 1759; Thence departing said right-of-way and continuing along the West boundary of said Tract 2, North 02°30'03" East, a distance of 306.00 feet to a found 5/8 inch rebar at the northwest corner of said Tract 2; Thence along the North boundary of said Tract 2, South 87°02'08" East, a distance of 129.22 feet to the POINT OF BEGINNING, containing 39,775 square feet or 0.91 acres, more or less, subject to any easements, covenants or restrictions of record or fact.

Surveyor's Declaration:

I hereby declare that I have this day completed a survey of the herein described property. The property lines and corner monuments are, to the best of my knowledge and ability, correctly established, and there are no apparent encroachments except as shown on this plat, and this plat is a true representation of the topographic and physical features as found in the field.

Date of Execution: 10/23/2015

Signed: *Nikolay N. Nedkov*
Registered Land Surveyor
Nikolay K. Nedkov LS No. 1759 State of Arkansas



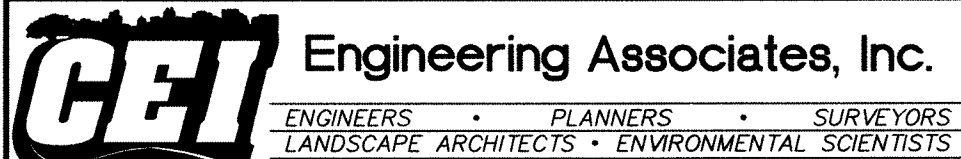
Legend	
	Property Line
	Easement Line
	Right-of-Way Line
	Parcel Line
	Wood Privacy Fence
	Chain Link Fence
	Metal Wire Fence
	Tree Line
	Hedge Line
	Storm Sewer Line
	Sanitary Sewer Line
	Overhead Electric Line
	Underground Electric Line
	Underground Telephone
	Gas Line
	Water Line
	Found Rebar (As Noted)
	Found Pipe (As Noted)
	Found Chiseled "X"
	Set 5/8" rebar with cap LS 1759"
	Set mag nail with washer LS 1759"
	Site Benchmark
	Clean Out
	Sewer Manhole
	Drainage Manhole
	Grate Inlet(square)
	Grate Inlet(circle)
	Roof Drain
	Fire Hydrant
	Water Meter
	Water Valve
	Gas Meter
	Electric Meter
	Pad Mount AC Unit
	Light Pole Straight-1 Lamp
	Light Pole Straight-2 Lamps
	Light on Utility Pole
	Electrical Riser
	Utility Pole
	Telephone Riser
	Telephone Manhole
	Riser Cable TV
	Sign
	Pylon Sign
	Deciduous Tree
	Evergreen Tree
	Shrub
	Existing Ground
	Grade Break
	Bottom Bank
	Top Bank
	Flow Line (Ditch)
	Top Back Curb
	Gutter
	Edge of Asphalt
	Center Road
	Edge of Concrete
	Edge of Gravel
	Concrete Sidewalk
	Stripe Solid
	Stripe Broken
	Stripe Solid and Broken
	Sewer Manhole
	Overhead Electric
	Deciduous Tree
	Evergreen Tree
	Building Corner
	Finish Floor
	Building Canopy
	Curb Inlet Flow
	Pipe Flowline
	Drainage Manhole
	Grate Inlet-Square
	Grate Inlet-Circular
	VCP
	Verified Clay Pipe
	Record Bearing and Distance per Doc. 01011487

State Plat Code 500-19N-30W-0-10-120-04-1759

Scale: 1" = 20'

10/23/15	NKN	NKN	KCD	NKN
DATE	PLS	DRW	FLD	CHK'R

Harbor Freight Tools



3108 SW Regency Pkwy, Suite 2
Bentonville, AR 72712

PH: (479)273-9472
FAX: (479)273-0844

Boundary Topographic Survey
2707 W. W Walnut St

Rogers Arkansas

DATE: 10/23/15
1:29 PM

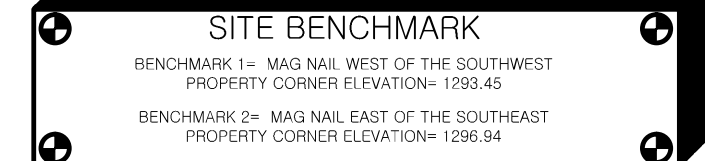
SHEET NO. 1 of 1

Rev-0

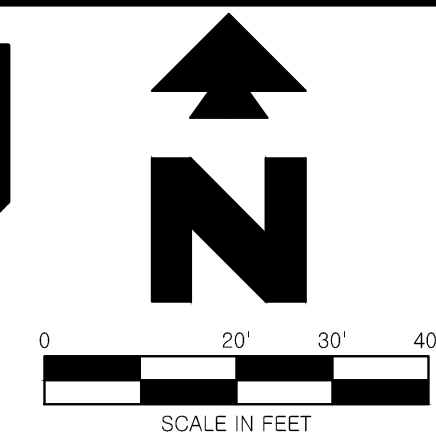
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Know what's below.
Call before you dig.



NOTE:
SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF
PORCHES, RAMPS, VESTIBULES, SLOPED PAVING, TRUCK DOCKS, BUILDING
UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.



LEGEND

EXISTING

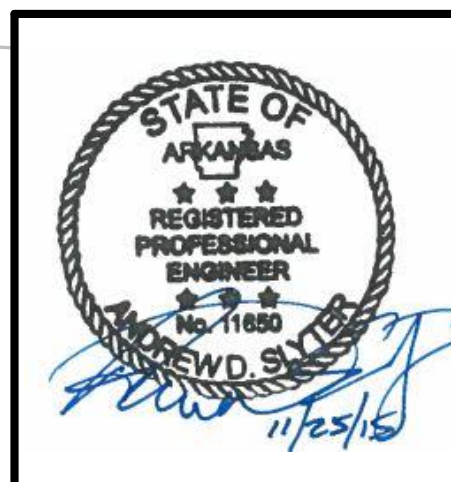
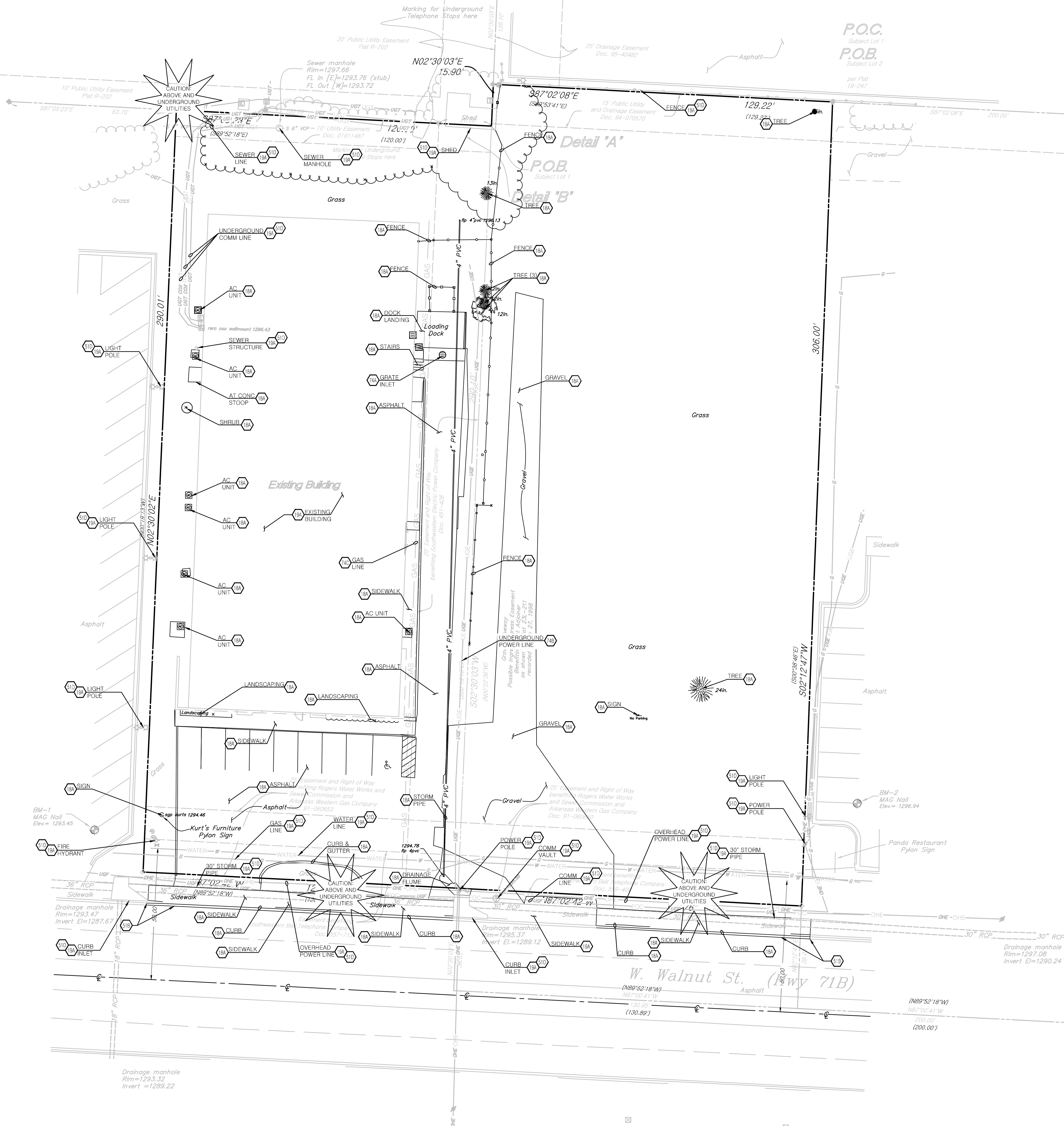
8	EAST OR ELECTRIC	OHT	OVERHEAD TELEPHONE
n	NORTH	OHTV	OVERHEAD TV
oh	OVERHEAD	X'SS	SANITARY SEWER
s	SOUTH OR SEWER	UGE	UNDERGROUND ELECTRIC
t	TELEPHONE	UGE&T	UNDERGROUND ELECTRIC AND TELEPHONE
ug	UNDERGROUND	UGT	UNDERGROUND TELEPHONE
w	WEST OR WATER	UGTV	UNDERGROUND TV
---	PROPERTY LINE	X'W	WATER
---	RIGHT OF WAY LINE		
---	STORM DRAIN		
X'G	GAS		
OHE	OVERHEAD ELECTRIC		
OHE&T	OVERHEAD ELECTRIC AND TELEPHONE		

GENERAL DEMOLITION NOTES

- THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE "OWNERS STANDARD SITE WORK SPECIFICATIONS".
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND STORAGE TANKS AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED. SEE SITE WORK SPECIFICATIONS.
- CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- ENGINEER'S NOTICE TO CONTRACTOR**
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

DEMOLITION NOTES

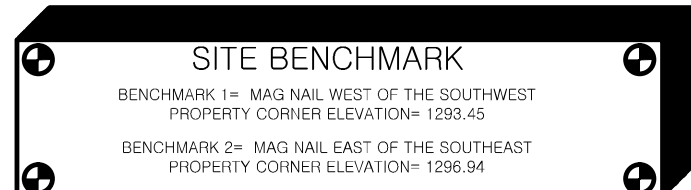
- EXISTING TO BE REMOVED.
- EXISTING TO REMAIN.
- LIMITS OF SAWCUT AND PAVEMENT REMOVAL.
- PROTECT EXISTING STRUCTURES AND/OR PIPES DURING DEMOLITION AND CONSTRUCTION PHASES.
- FILED VERIFY EXISTING STORM DRAIN & REMOVE OR ABANDON.
- UNDERGROUND ELECTRIC LINE. CONTRACTOR TO FIELD VERIFY USE OF UGE LINE AND REMOVE IF NOT USED.
- EXISTING GAS LINE LOCATION NOT VERIFIED. VERIFY BEFORE DEMOLITION STARTS.



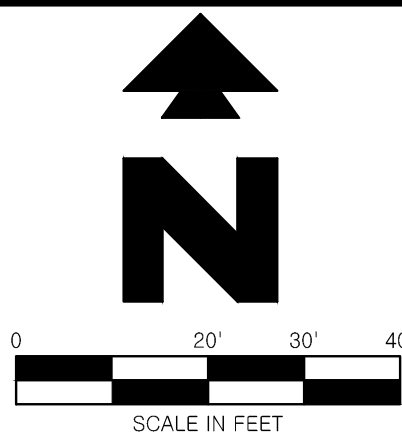
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2707 W. WALNUT STREET					
ROGERS AR					
DEMOLITION PLAN					
REV DATE 11/24/15 REV-0					
SHEET NO. C3					



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NOTE:
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PORCHES, RAMPS, VESTIBULE, SLOPED PAVING, TRUCK DOCKS, BUILDING
UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.



LEGEND

EXISTING

8	EAST OR ELECTRIC	— OHT —	OVERHEAD TELEPHONE
10	NORTH	— OHTV —	OVERHEAD TV
12	OVERHEAD	— X'SS —	SANITARY SEWER
14	SOUTH OR SEWER	— UGE —	UNDERGROUND ELECTRIC
16	TELEPHONE	— UGE&T —	UNDERGROUND ELECTRIC AND TELEPHONE
18	UNDERGROUND	— UGT —	UNDERGROUND TELEPHONE
20	WEST OR WATER	— UGTW —	UNDERGROUND TV
22	PROPERTY LINE	— X'W —	WATER
24	RIGHT OF WAY LINE		
26	STORM DRAIN		
28	X'G		
30	OHE		
32	OHE&T		

PROPOSED

---	PROPERTY LINE/RIGHT OF WAY LINE
---	GRADE BREAK
---	CONTOUR ELEVATIONS
---	STORM DRAIN
x XX.XX	SPOT ELEVATIONS: TO = TOP OF CURB G = GUTTER
	FL = FLOW LINE FG = FINISHED GRADE

GENERAL GRADING NOTES

- PRIOR TO INSTALLATION OF STORM OR SANITARY SEWER, THE CONTRACTOR SHALL EXCAVATE, VERIFY, AND CALCULATE ALL CROSSINGS AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS PRIOR TO CONSTRUCTION. THE ENGINEER WILL BE HELD HARMLESS IN THE EVENT THE ENGINEER IS NOT NOTIFIED OF DESIGN CONFLICTS.
- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND 4" OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS (SEE LANDSCAPE PLAN FOR SEED MIX AND PROPER APPLICATION RATE). ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN THE SPECIFICATIONS: ALL STORM DRAIN PIPE BEDDING SHALL BE INSTALLED PER DETAIL 28A. ALL STORM DRAIN PIPES ARE MEASURED FROM CENTER OF STRUCTURES AND ENDS OF FLARED END SECTIONS.

GRADING NOTES

- 090 FLARED END SECTION.
18C CONNECT TO EXISTING STORM DRAIN MANHOLE OR INLET.
18D MATCH EXISTING PAVEMENT ELEVATIONS.
51B LIMITS OF SAWCUT AND PAVEMENT REMOVAL.
73B VERIFY DEPTH OF CROSSING UTILITY LINES TO MAINTAIN MINIMUM OF 18" VERTICAL SEPARATION.
73C STORM WATER MANAGEMENT POND EMERGENCY OVERFLOW (1' WIDE, 1.15' DEEP).

GRADING DETAILS

- 14A CONCRETE SWALE
17A 4" CURB OUT
73A POND OUTLET STRUCTURE



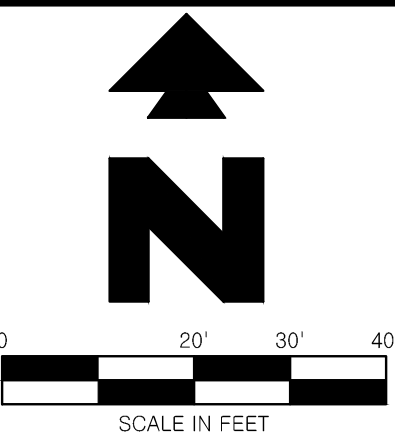
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GRADING PLAN					
REV DATE 11/25/15		REV-0		SHEET NO. C4	



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SITE BENCHMARK	
BENCHMARK 1= MAG NAIL WEST OF THE SOUTHWEST PROPERTY CORNER ELEVATION= 1293.45	
BENCHMARK 2= MAG NAIL EAST OF THE SOUTHEAST PROPERTY CORNER ELEVATION= 1296.94	

NOTE:
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LEGEND

EXISTING	
—	EAST OR ELECTRIC
—	NORTH
—	OVERHEAD
—	SOUTH OR SEWER
—	TELEPHONE
—	UNDERGROUND
—	WEST OR WATER
—	PROPERTY LINE
—	RIGHT OF WAY LINE
—	STORM DRAIN
—	X" G
—	OHE
—	OHE&T
—	OHT
—	OHTV
—	X"SS
—	UNDERGROUND ELECTRIC
—	UNDERGROUND ELECTRIC AND TELEPHONE
—	UGT
—	UNDERGROUND TELEPHONE
—	UGTV
—	X" W
—	WATER
—	5-10-11-50.5
—	5 = DIAMETER OF TRUNK IN FEET
—	10 = HEIGHT OF TREE IN FEET
—	11 = CANOPY DIAMETER IN FEET
—	50.5 = ELEVATION AT BASE OF TREE

GENERAL EROSION NOTES

- ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF ARKANSAS NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
- THE TEMPORARY PARKING AND STORAGE AREA SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AREA, EQUIPMENT CLEANING AREA, EMPLOYEE BREAK AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS AND TOILET FACILITIES. THE EXACT LOCATIONS SHALL BE COORDINATED WITH THE OWNER'S CONSTRUCTION MANAGER.
- ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DISPOSED OF IN A MANNER THAT PREVENTS CONTACT BETWEEN THESE MATERIALS AND STORM WATER THAT IS DISCHARGED FROM THE SITE.
- MAINTAIN ON THE SITE OR HAVE READILY AVAILABLE SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS TO CONTAIN AND CLEAN UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- DUST ON THE SITE SHALL BE CONTROLLED BY SPRAYING WATER ON DRY AREAS OF THE SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- NO RUBBISH, TRASH, GARBAGE OR OTHER SUCH MATERIALS SHALL BE DISCHARGED INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY WILL STOP FOR AT LEAST 21 DAYS, SHALL BE TEMPORARILY SEEDED WITHIN 14 DAYS.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE LANDSCAPING PLAN.
- IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE. THE EXACT LOCATIONS SHALL BE COORDINATED WITH THE OWNER'S CONSTRUCTION MANAGER.
- ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AFTER THE STABILIZATION OF THE SITE AND ALSO ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS.
- IF SOIL STOCKPILING IS EMPLOYED ON THE SITE, SILT FENCES SHALL BE USED TO HELP CONTAIN THE SEDIMENT.
- SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- SEDIMENT BASINS ARE ATTRACTIVE TO CHILDREN AND CAN BE VERY DANGEROUS. IN ALL CASES, LOCAL ORDINANCES AND REGULATIONS REGARDING HEALTH AND SAFETY MUST BE ADHERED TO.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DISPOSED OF WITHIN 30 DAYS AFTER FINAL STABILIZATION. FINAL STABILIZATION HAS OCCURRED WHEN ALL SOIL DISTURBING ACTIVITIES ARE COMPLETED AND A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70% OF THE COVER FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES HAS BEEN EMPLOYED.
- DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, STRAW BALES, ETC.) TO HELP PREVENT EROSION AND STORM WATER POLLUTION.
- ALL OFF-SITE CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACKFILLING OF TRENCHES FOR STORM DRAINS & UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

PROPOSED

—	PROPERTY LINE/RIGHT OF WAY LINE
—	DRAINAGE AREAS
—	LIMITS OF DISTURBANCE
—	SILT FENCE
—	GRADE BREAK
—	CONTOUR ELEVATIONS
—	STORM DRAIN
—	INLET PROTECTION

GENERAL EROSION NOTES CONT'D

MAINTENANCE
ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A RAINFALL EVENT, AND SHOULD BE CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:


- ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED AND RESEED AS NEEDED.
- SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-THIRD TO ONE-HALF THE HEIGHT OF THE SILT FENCE.
- THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
- THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
- IF THE STONES IN THE GRAVEL INLET SEDIMENT FILTERS BECOME CLOGGED WITH SEDIMENT, THE STONES MUST BE PULLED AWAY, CLEANED AND REPLACED.

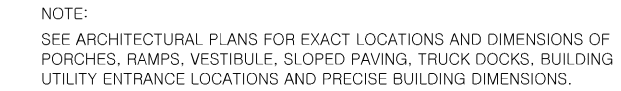
- SEQUENCE OF CONSTRUCTION**
- INSTALL STABILIZED CONSTRUCTION ENTRANCES.
 - PREPARE TEMPORARY PARKING AND STORAGE AREA.
 - CONSTRUCT THE SILT FENCES ON THE SITE.
 - CLEAR AND GRUB THE SITE.
 - BEGIN GRADING THE SITE.
 - START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.
 - TEMPORARILY SEED DENUDED AREAS.
 - INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
 - INSTALL INLET PROTECTION DEVICES.
 - INSTALL RIP RAP AROUND OUTLET STRUCTURES.
 - PREPARE SITE FOR PAVING.
 - PAVE SITE.
 - COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTING.
 - REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS STABILIZED).

EROSION DETAILS

- 75A BIG RED
85A TEMPORARY SILT FENCE
85A TEMPORARY STONE CONSTRUCTION ENTRANCE
85C TEMPORARY CONCRETE WASH OUT.




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HARBOR FREIGHT					
2707 W. WALNUT STREET					
ROGERS			AR		
EROSION CONTROL PLAN			REV DATE 11/25/15 REV-0	AR	SHEET N C5



EXISTING

PROPOSED

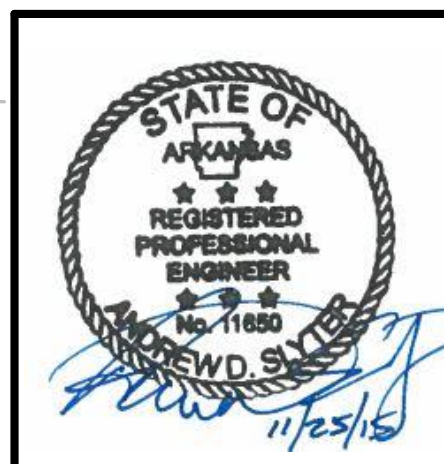
	PROPERTY LINE/RIGHT OF WAY LINE
	STORM DRAIN
	GAS SERVICE
	UNDERGROUND ELECTRIC SERVICE


GENERAL UTILITY NOTES

- A. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
- B. ALL ELECTRIC, TELEPHONE AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS; ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
- C. CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
- D. PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITY LINES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM CE ENGINEERING AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. CE ENGINEERING AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.

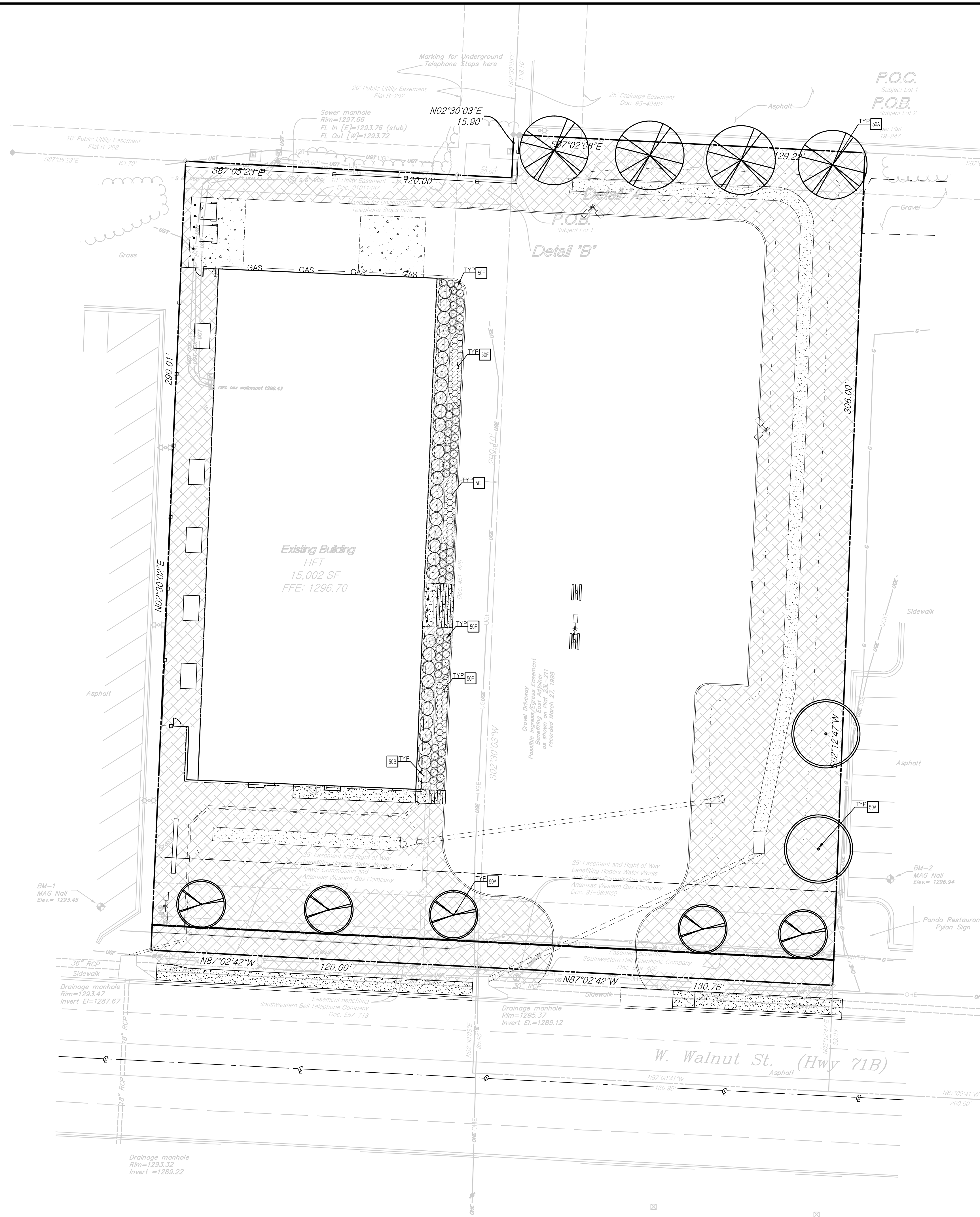
UTILITY NOTES

- 27A POINT OF CONNECTION FOR GAS SERVICE (PER LOCAL GAS COMPANY REQUIREMENTS).
27B GAS SERVICE PER LOCAL GAS COMPANY.
27C PROPOSED GAS METER.
31A LOCATION FOR THIS UTILITY AS SHOWN IS FOR DRAWING PURPOSES ONLY. CONTRACTOR SHALL VERIFY THE EXACT LOCATION IN FIELD PRIOR TO THE CONSTRUCTION OF THE PROPOSED UTILITY

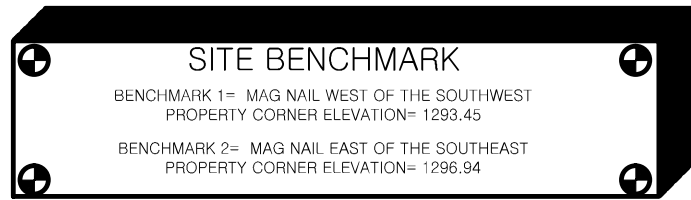


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HARBOR FREIGHT 2707 W. WALNUT STREET ROGERS					
UTILITY PLAN			AR		SHEET NO. C6
			REV DATE 11/24/15 REV=0		

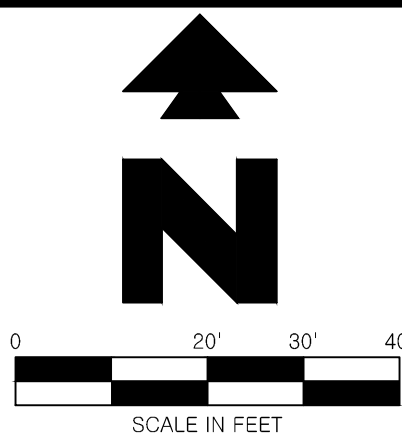
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LEGEND

EXISTING

— E —	EAST OR ELECTRIC	— OHT —	OVERHEAD TELEPHONE
— N —	NORTH	— OHTV —	OVERHEAD TV
— S —	SOUTH OR SEWER	— X'SS —	SANITARY SEWER
— T —	TELEPHONE	— UGE —	UNDERGROUND ELECTRIC
— UG —	UNDERGROUND	— UGT —	UNDERGROUND TELEPHONE
— W —	WEST OR WATER	— UGE&T —	UNDERGROUND ELECTRIC AND TELEPHONE
— — — — —	PROPERTY LINE	— UGT —	UNDERGROUND TELEPHONE
— — — — —	RIGHT OF WAY LINE	— UGTV —	UNDERGROUND TV
— — — — —	STORM DRAIN	— X'W —	WATER
— X'G —	GAS	— — — — —	—
— OHE —	OVERHEAD ELECTRIC	— — — — —	—
— OHE&T —	OVERHEAD ELECTRIC AND TELEPHONE	— — — — —	—

PROPOSED

— — — — —	STORM DRAIN
— — — — —	TURF TYPE BERMUDA GRASS
— — — — —	4" HARDWOOD MUGH
— — — — —	TYPICAL PLANTING WITH QUANTITY AND KEY (SEE PLANT LIST)

TREE LIST

KEY	QTY	COMMON NAME/ BOTANICAL NAME	ROOT	SIZE	REMARKS
BC	4	BALD CYPRESS Taxodium distichum	R&B	2.5" CAL	
KC	2	KENTUCKY COFFEE TREE Gymnocladus dioica	R&B	2.5" CAL	
RB	5	RED BUD Cercis canadensis	R&B	1.5" CAL	

SHRUB LIST

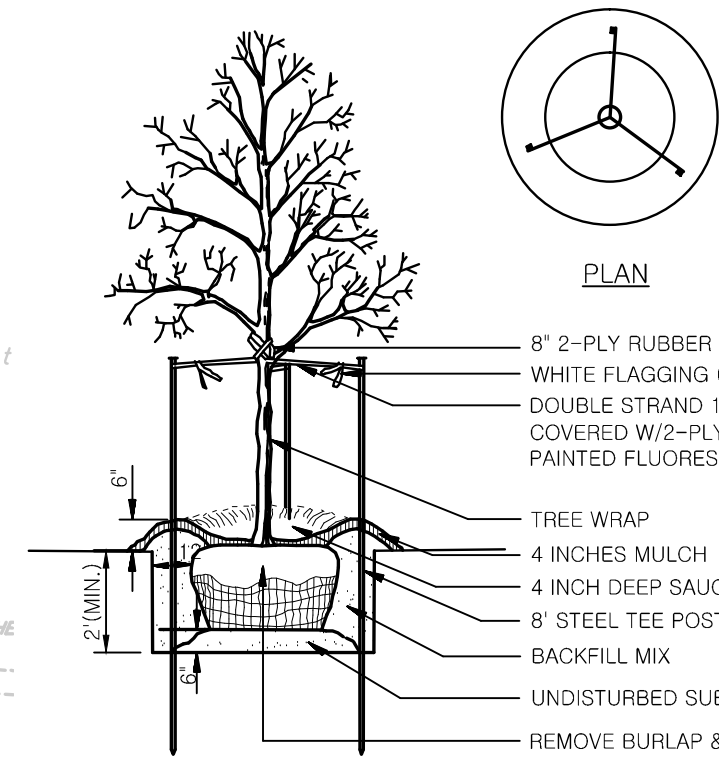
KEY	QTY	COMMON NAME/ BOTANICAL NAME	ROOT	SIZE	REMARKS
CH	33	CARISSA HOLLY Ilex cornuta 'Carissa'	5 GAL	MIN 24" HEIGHT	

PERENNIAL LIST

KEY	QTY	COMMON NAME/ BOTANICAL NAME	ROOT	SIZE	REMARKS
DY	61	DAYLILY Hemerocallis	6" POT		PLANT 18" O.C.
LT	132	LILLY TURF Liriodendron muscicola	6" POT		PLANT 36" O.C.E.W.

LANDSCAPE REQUIREMENT

REQUIREMENT	CALCULATION	PROVIDED
20% GREEN SPACE	$\pm 74,637 \text{ SF} \times 20\% = 14,927.4 \text{ SF}$	21,178 SF
1 TREE/ 1000 SF OF GREEN SPACE	$14,927.4 \text{ SF} / 1000 \text{ SF} = 15 \text{ TREES}$	11 TREES + (80) 6" POT'S = 15 TREES
1 SHRUB/ 1000 SF OF GREEN SPACE	$14,927.4 \text{ SF} / 1000 \text{ SF} = 15 \text{ SHRUBS}$	33 SHRUBS

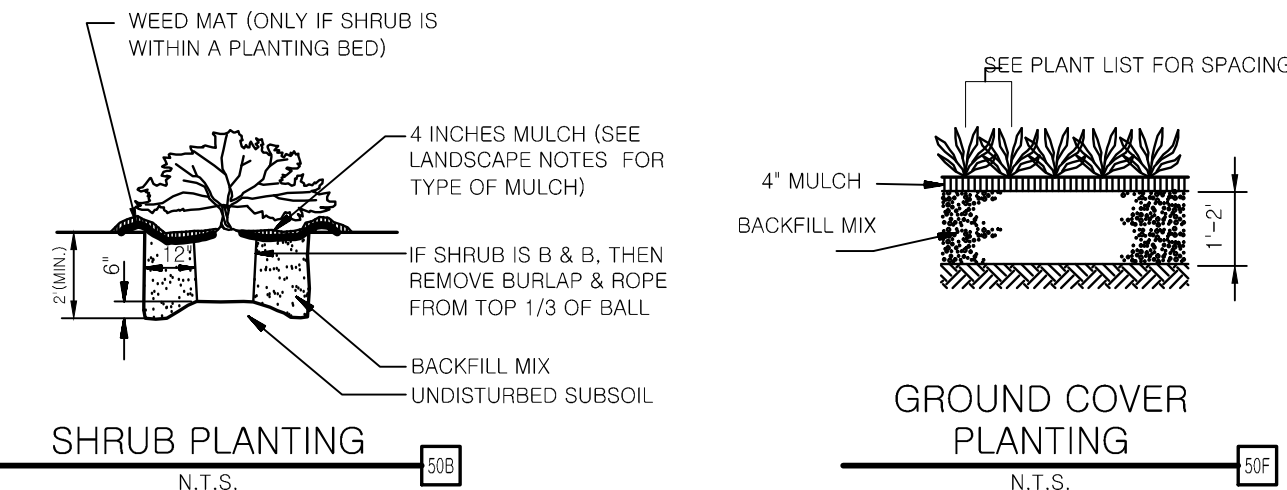


NOTE: SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.

TREE PLANTING

N.T.S.

A FULLY AUTOMATED IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED BY CONTRACTOR. IRRIGATION DESIGNER SHALL BE RESPONSIBLE FOR SIZING AND SPECIFYING BACKFLOW PREVENTER IN ACCORDANCE WITH LOCAL CODES.



SHRUB PLANTING

N.T.S.

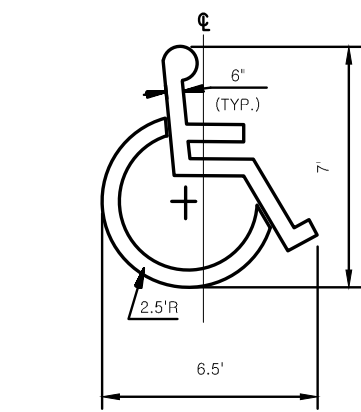
GROUND COVER PLANTING

N.T.S.



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Engineering Associates, Inc.					
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3030 LBJ Freeway, Suite 100 Dallas, TX 75234					
(972) 488-3737 FAX (972) 488-6732					
LANDSCAPE PLAN 2707 W. WALNUT STREET					
DATE 11/24/15 10:49 AM REV-0					
SHEET NO. C7					

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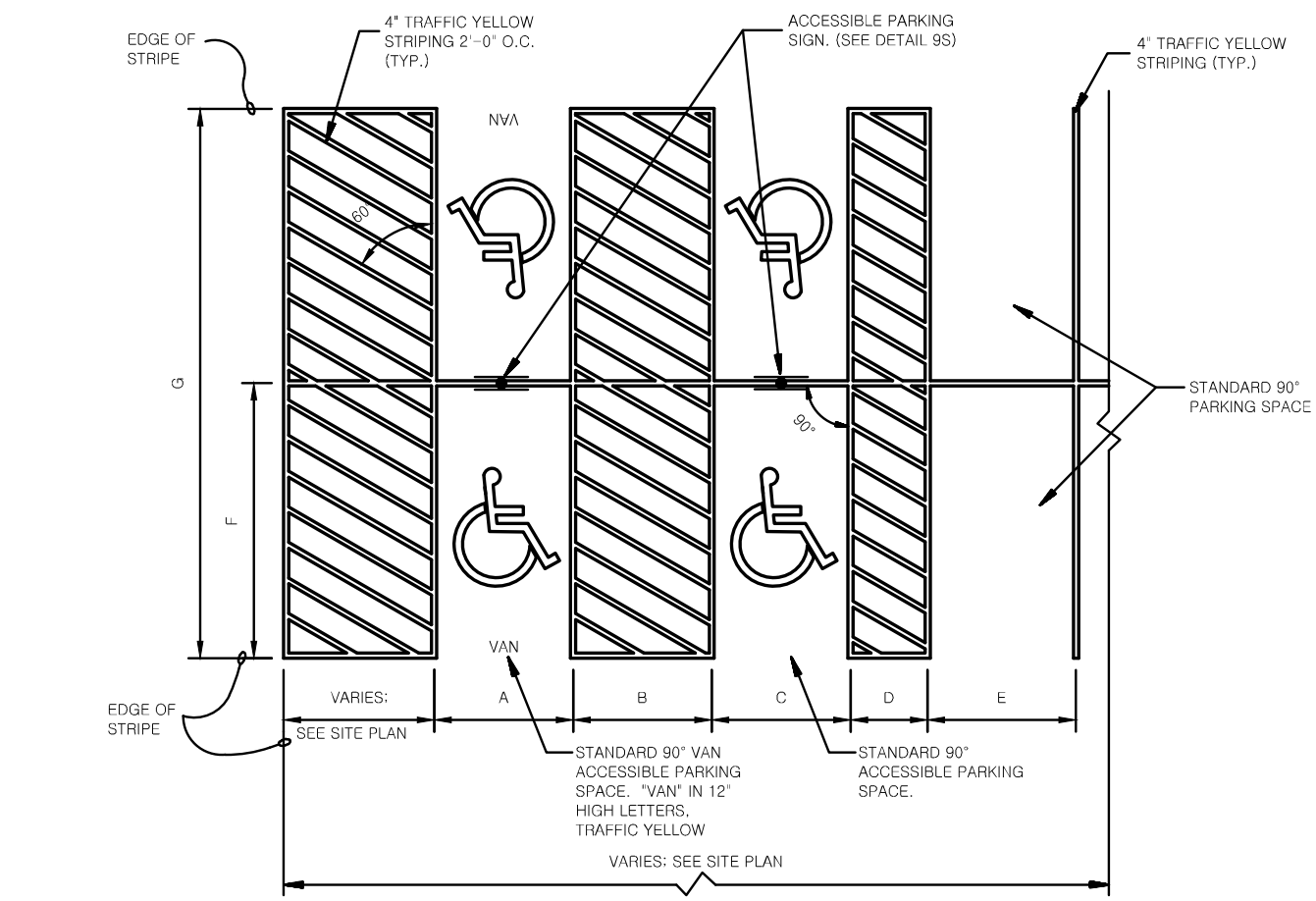


ACCESSIBLE PARKING SYMBOL
N.T.S.

LOCATE AT EDGE OF PARKING SPACE UNLESS ACCOMPANIED BY "VAN" LETTERING

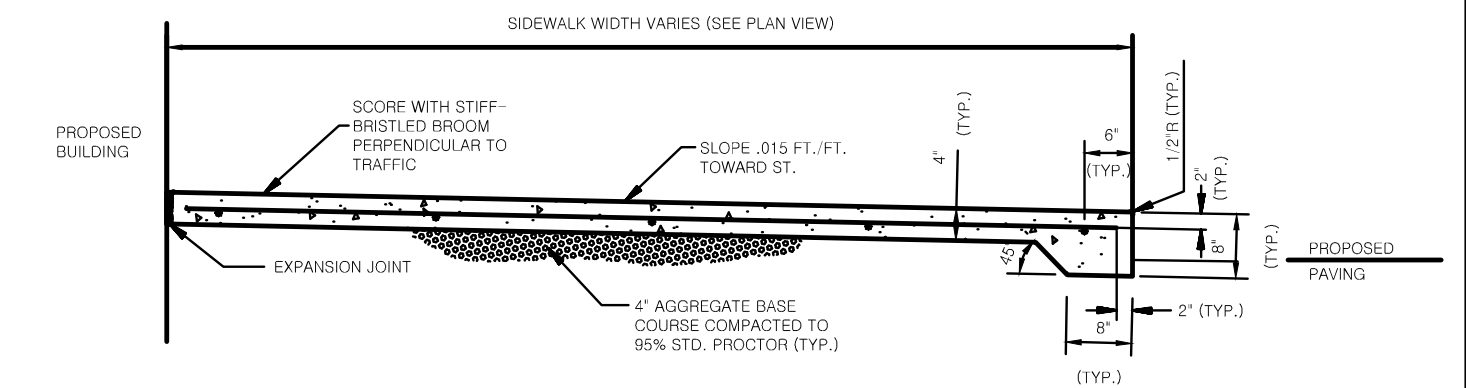
NOTES:

1. THIS DETAIL IS FOR DIMENSION PURPOSES ONLY. SEE SITE PLAN FOR EXACT LAYOUT.
2. ALL DIMENSIONS ARE TO A 4" OF STRIPE UNLESS OTHERWISE INDICATED.
3. A MINIMUM 5' ACCESSIBLE SPACE SHALL BE PLACED ON PASSENGER SIDE OF VAN SPACES.
4. SEE SITE PLAN FOR TYPICAL DIMENSIONS OF STANDARD 90° PARKING SPACES.

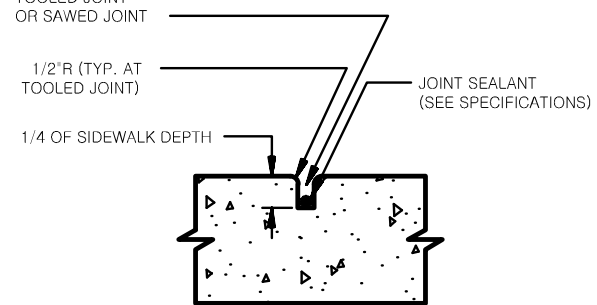


DIMENSION CHART											
STD. 90° VAN ACCESSIBLE			STD. 90° ACCESSIBLE			STD. 90°			STD. 90°		
A	8'	8'	8'	VARIES	VARIES	VARIES					
B	8'	8'	8'	VARIES	VARIES	VARIES					
C				8'	8'	8'					
D				5'	5'	5'	VARIES	VARIES	VARIES	VARIES	VARIES
E				9'	9.5'	10'	9'	9.5'	10'	9'	9.5'
F	18'	19'	20'	18'	19'	20'	18'	19'	20'	18'	19'
G	35'	36'	40'	35'	36'	40'	35'	36'	40'	35'	36'

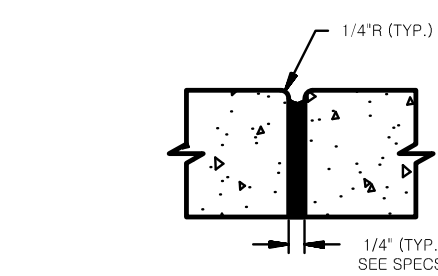
90° PARKING, ACCESSIBLE PARKING AND "VAN" ACCESSIBLE PARKING SPACE STRIPING
N.T.S.



SECTION A-A

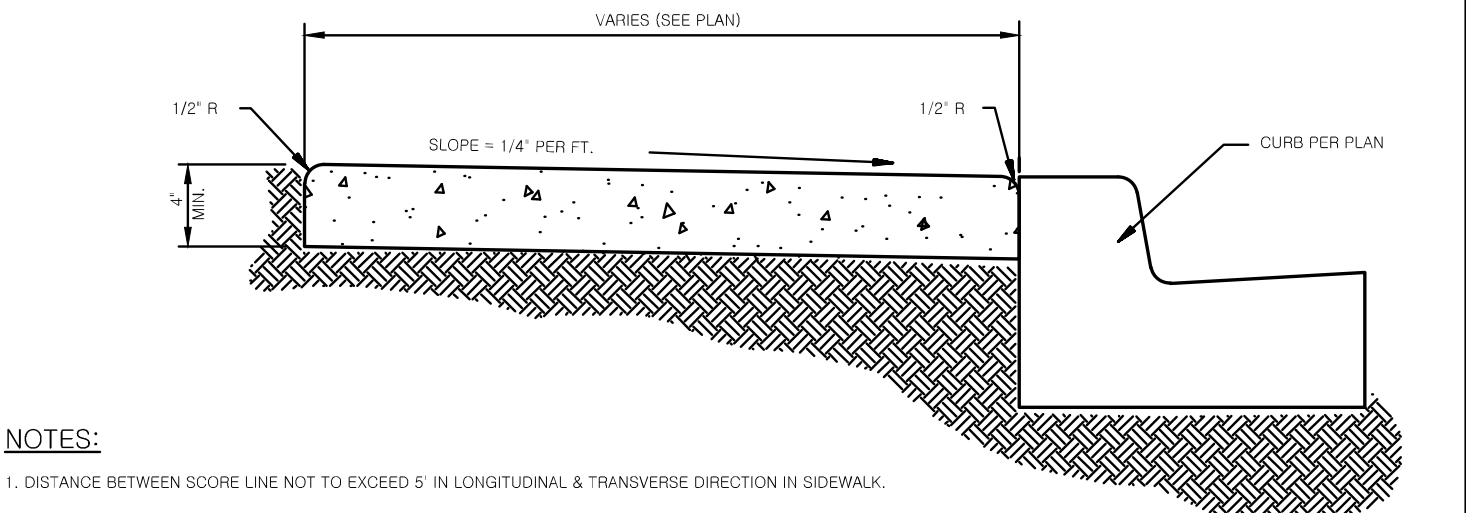


CONTRACTION JOINT



EXPANSION JOINT

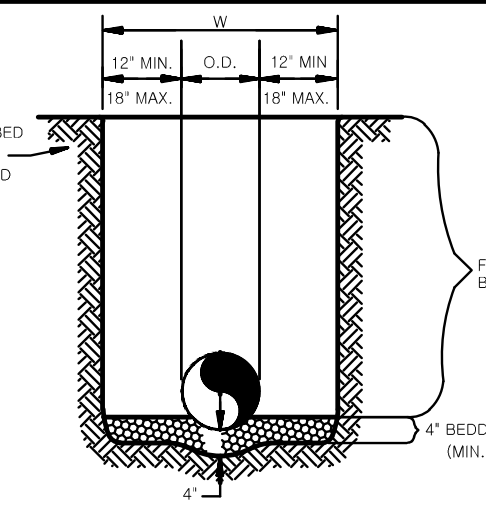
CONCRETE SIDEWALK
N.T.S.



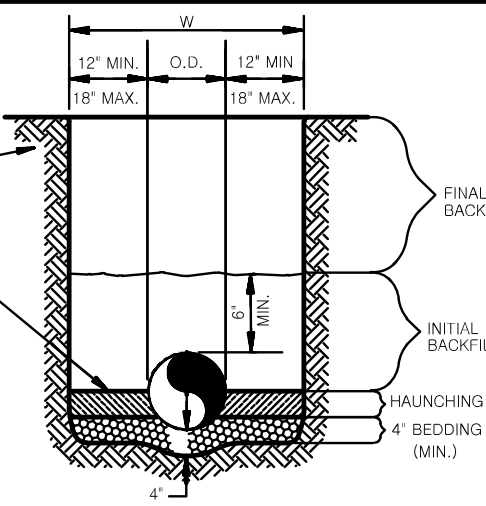
NOTES:

1. DISTANCE BETWEEN SCORE LINE NOT TO EXCEED 5' IN LONGITUDINAL & TRANSVERSE DIRECTION IN SIDEWALK.

CONCRETE SIDEWALK AT BACK OF CURB
N.T.S.



RIGID PIPE
N.T.S.

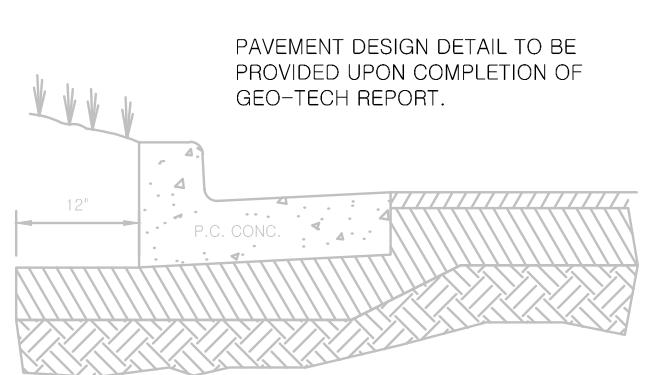


FLEXIBLE PIPE
N.T.S.

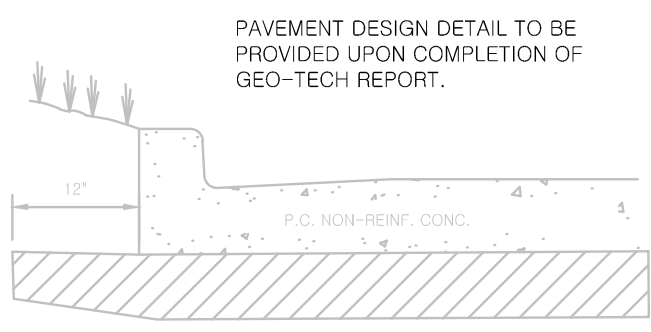
GENERAL NOTES:

1. BEDDING SHALL BE CLASS I-A WORKED BY HAND. IF GROUNDWATER IS ANTICIPATED, THEN BEDDING SHALL BE CLASS I-B OR CLASS II COMPACTED TO 95% STANDARD PROCTOR. (SEE SPECIFICATIONS FOR GRADATION)
2. HAUNCHING SHALL BE WORKED AROUND THE PIPE BY HAND TO ELIMINATE VOIDS AND SHALL BE CLASS I-A OR CLASS I-B OR CLASS II COMPACTED TO 95% STANDARD PROCTOR.
3. INITIAL BACKFILL SHALL BE CLASS I-A WORKED BY HAND, OR CLASS I-B OR CLASS II COMPACTED TO 95% STANDARD PROCTOR.
4. INITIAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS II COMPACTED TO 90% STANDARD PROCTOR.
5. FINAL BACKFILL SHALL BE CLASS I, II, OR III COMPACTED AS NOTED IN NOTES 3, AND 4.
6. FINAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS IV-A COMPACTED TO 95% STANDARD PROCTOR.
7. ALL MATERIALS ARE CLASSIFIED IN ACCORDANCE WITH ASTM D 1557-89.
8. ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 8" LOOSE LIFTS IN ACCORDANCE WITH ASTM D 1557-89. CLASS II AND IV-A MATERIALS SHALL BE COMPACTED NEAR OPTIMUM MOISTURE CONTENT.
9. FILL SALVAGED FROM EXCAVATION SHALL BE FREE OF DEBRIS, ORGANICS AND ROCKS LARGER THAN 3".
10. ALL TRENCH EXCAVATIONS SHALL BE SLOPED, SHORED, BRACED, OR OTHERWISE SUPPORTED IN COMPLIANCE WITH OSHA REGULATIONS AND LOCAL ORDINANCES. (SEE SPECIFICATIONS)

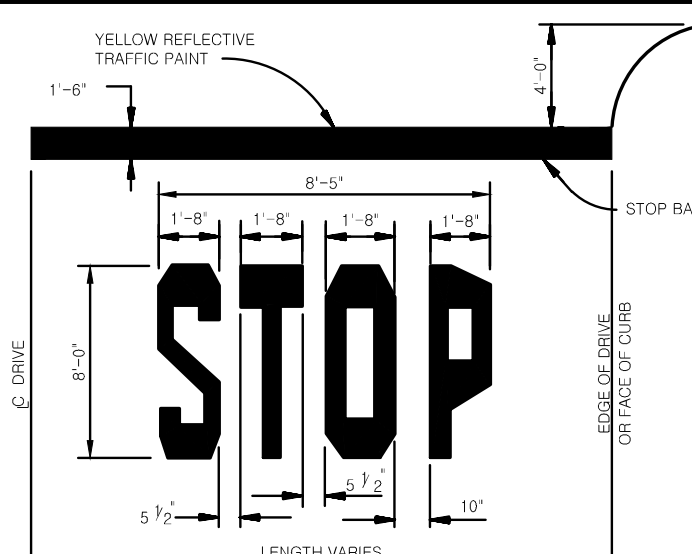
STORM SEWER TRENCH AND BEDDING
N.T.S.



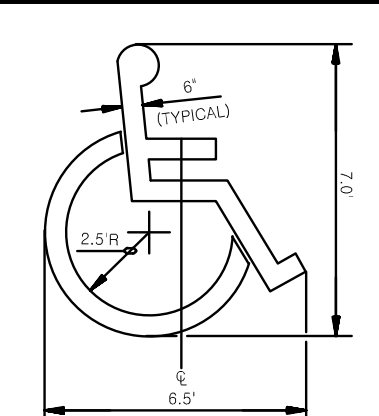
HEAVY DUTY ASPHALT PAVING
N.T.S.



HEAVY DUTY CONCRETE PAVING
N.T.S.

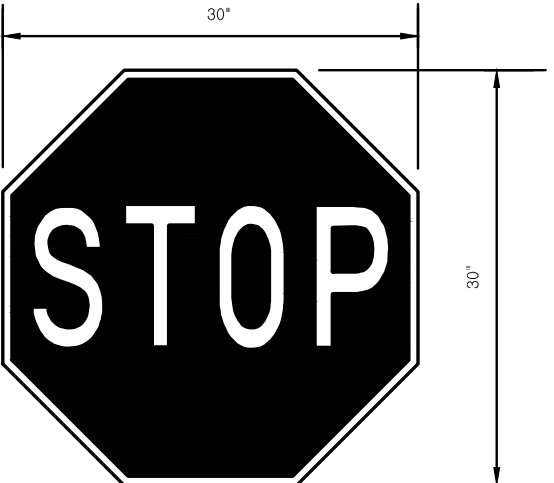


STOP BAR
N.T.S.

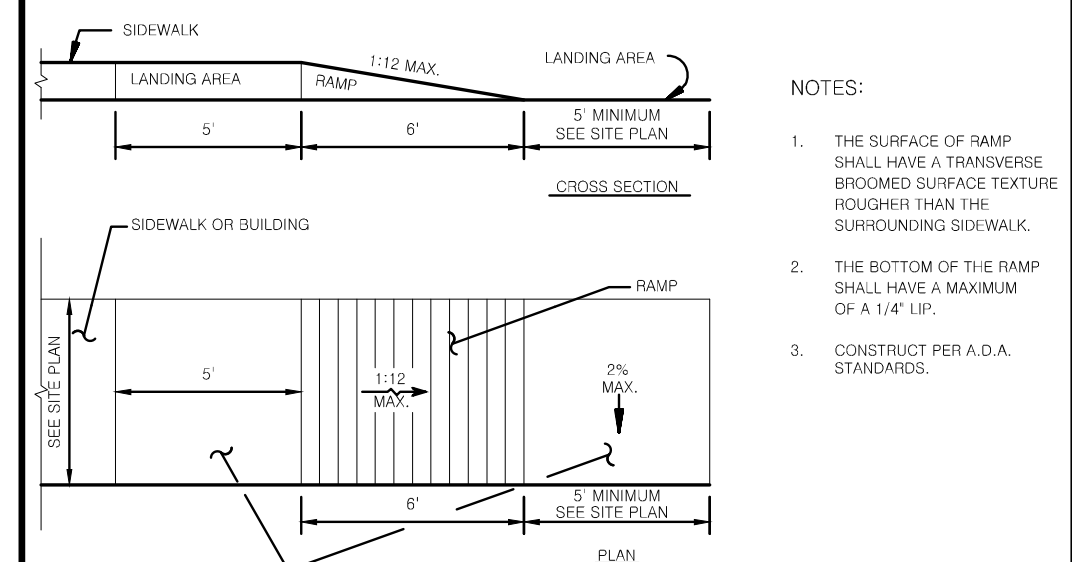


ACCESSIBLE PARKING SYMBOL
N.T.S.

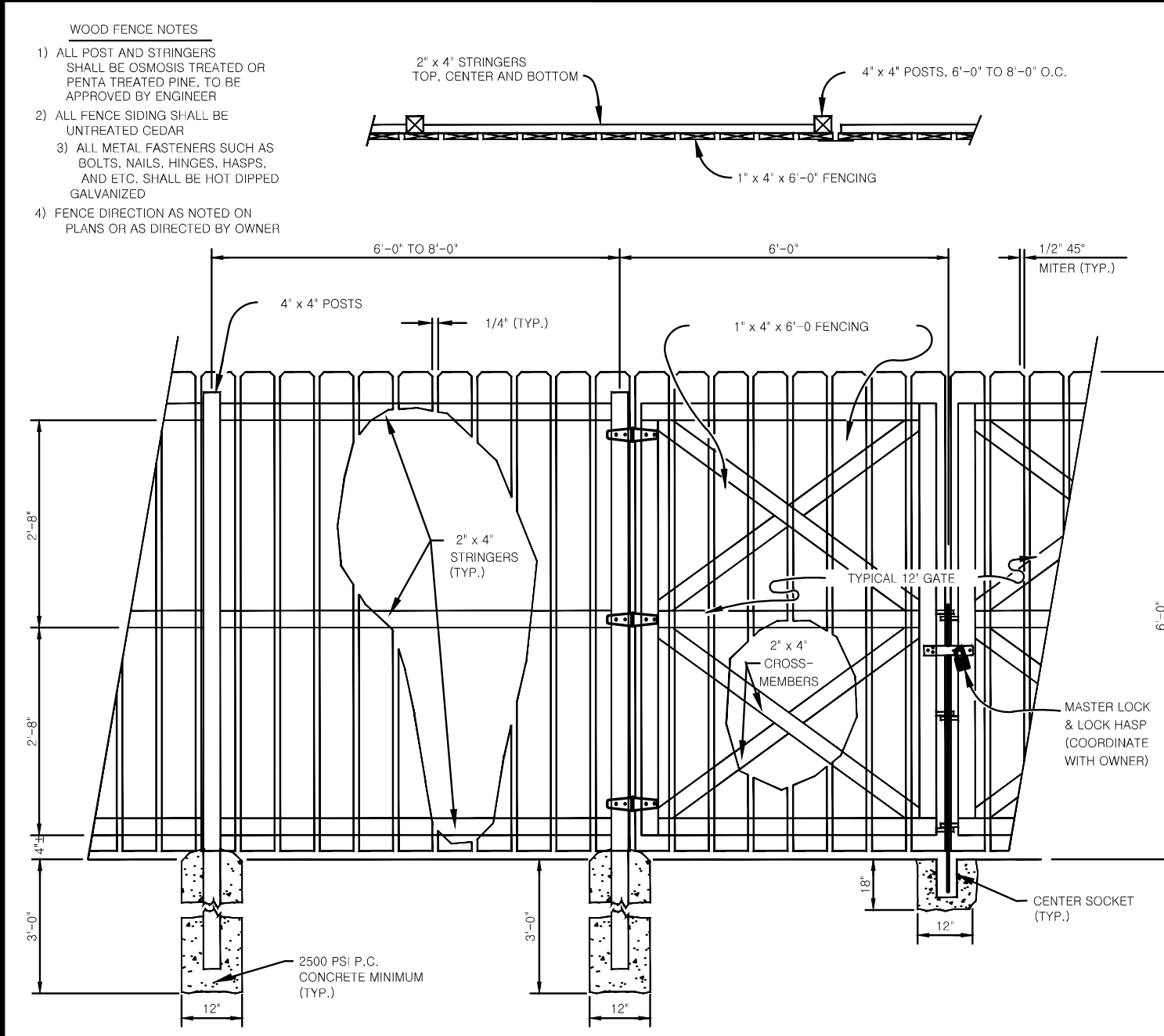
ACCESSIBLE PARKING SYMBOL
N.T.S.



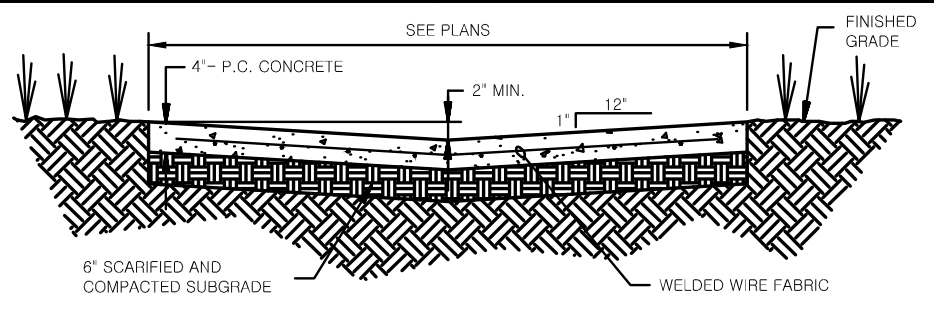
STOP SIGN
N.T.S.



WHEELCHAIR RAMP IN SIDEWALK
N.T.S.



WOOD FENCE
N.T.S.



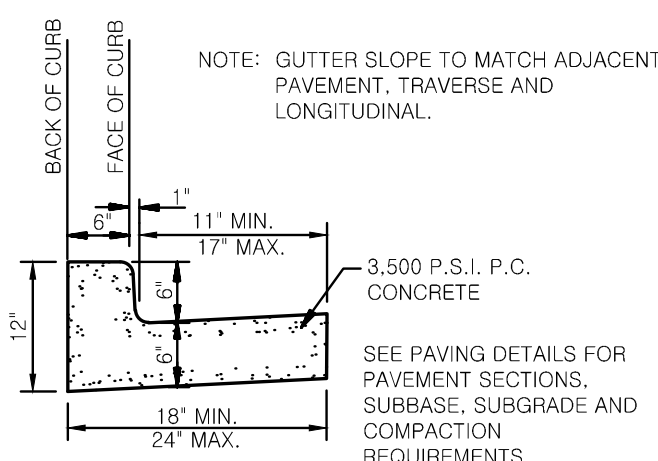
CONCRETE SWALE
N.T.S.

SUBGRADE NOTES:

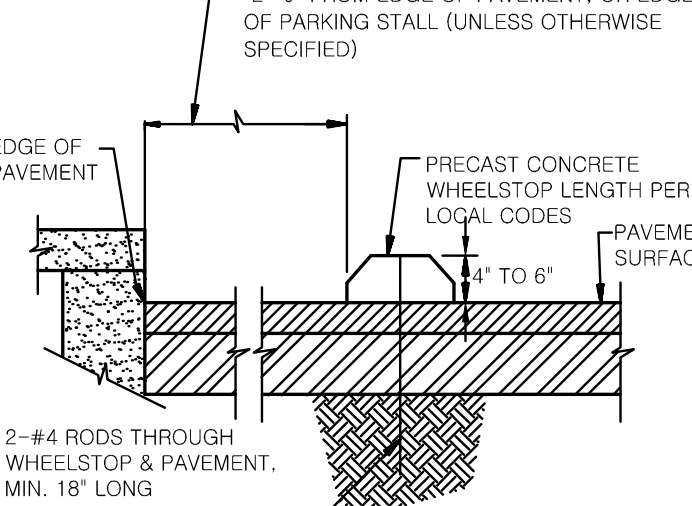
1. COMPACT TO 95% MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 698 (STANDARD PROCTOR) AT ± 2% OF PROCTOR OPTIMUM MOISTURE CONTENT.

CONCRETE NOTES:

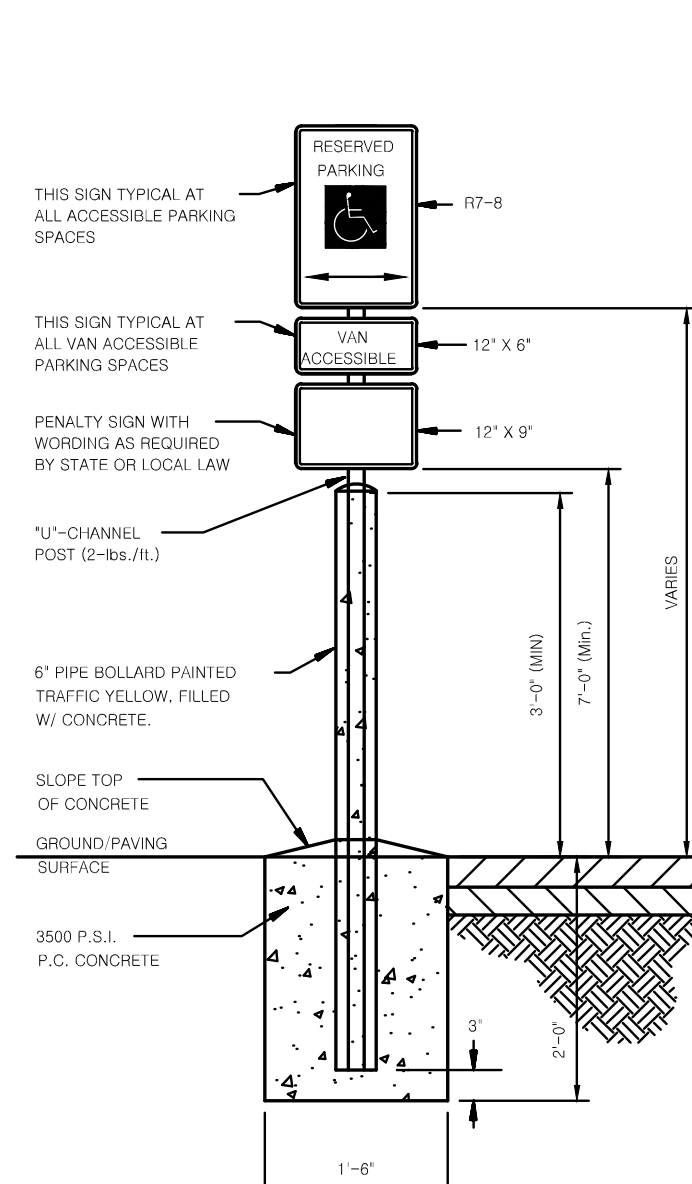
1. COMPRESSIVE STRENGTH: 3,500 P.S.I. MINIMUM AT 28 DAYS.
2. FLAT OR SMOOTH FINISH.
3. REINFORCEMENT: WELDED WIRE FABRIC - 6"x6" - W 2.1 X W 2.1, 2" FROM BOTTOM.
4. WEARNED-PLANE CONTROL JOINTS 15' O.C. AND FILLED/SEALED. SEE SPECIFICATIONS FOR APPROVED FILLER/SEALERS.



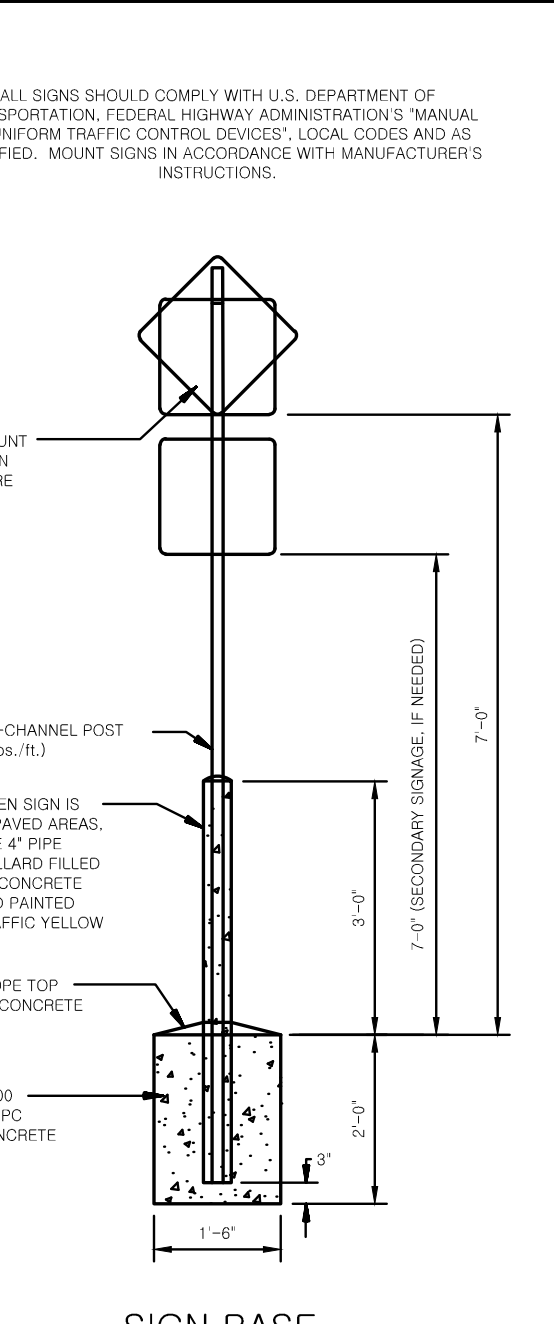
TYPE "A" CONCRETE CURB AND GUTTER
N.T.S.



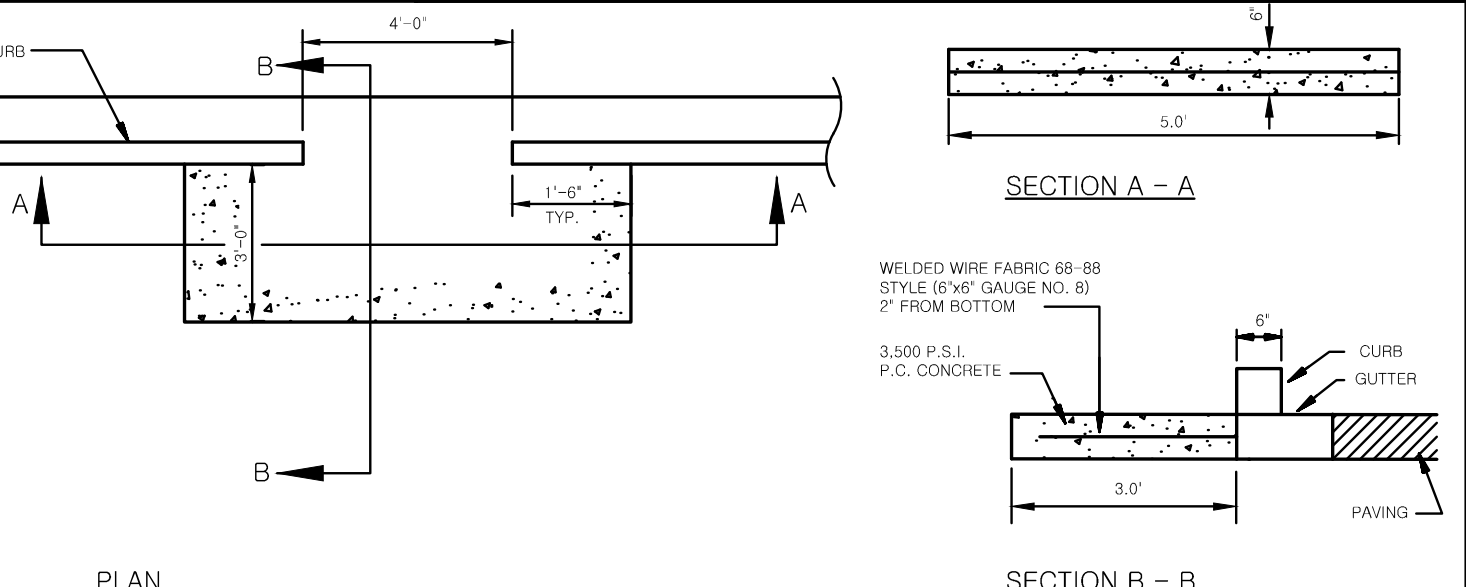
PRECAST CONCRETE WHEEL STOP
N.T.S.



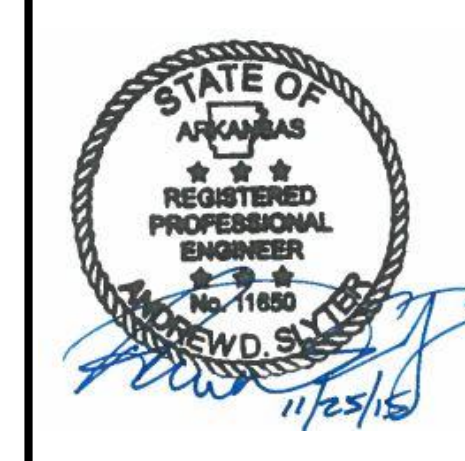
ACCESSIBLE / VAN ACCESSIBLE PARKING SIGN
N.T.S.



SIGN BASE
N.T.S.

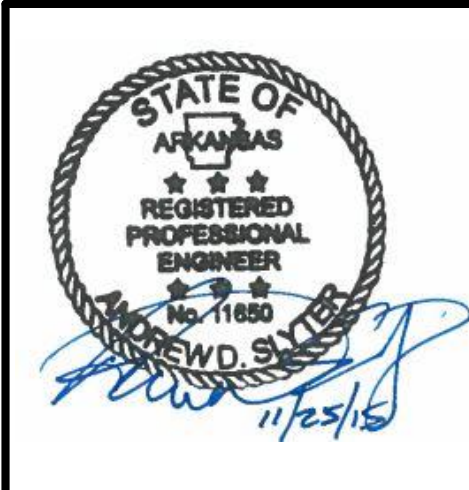
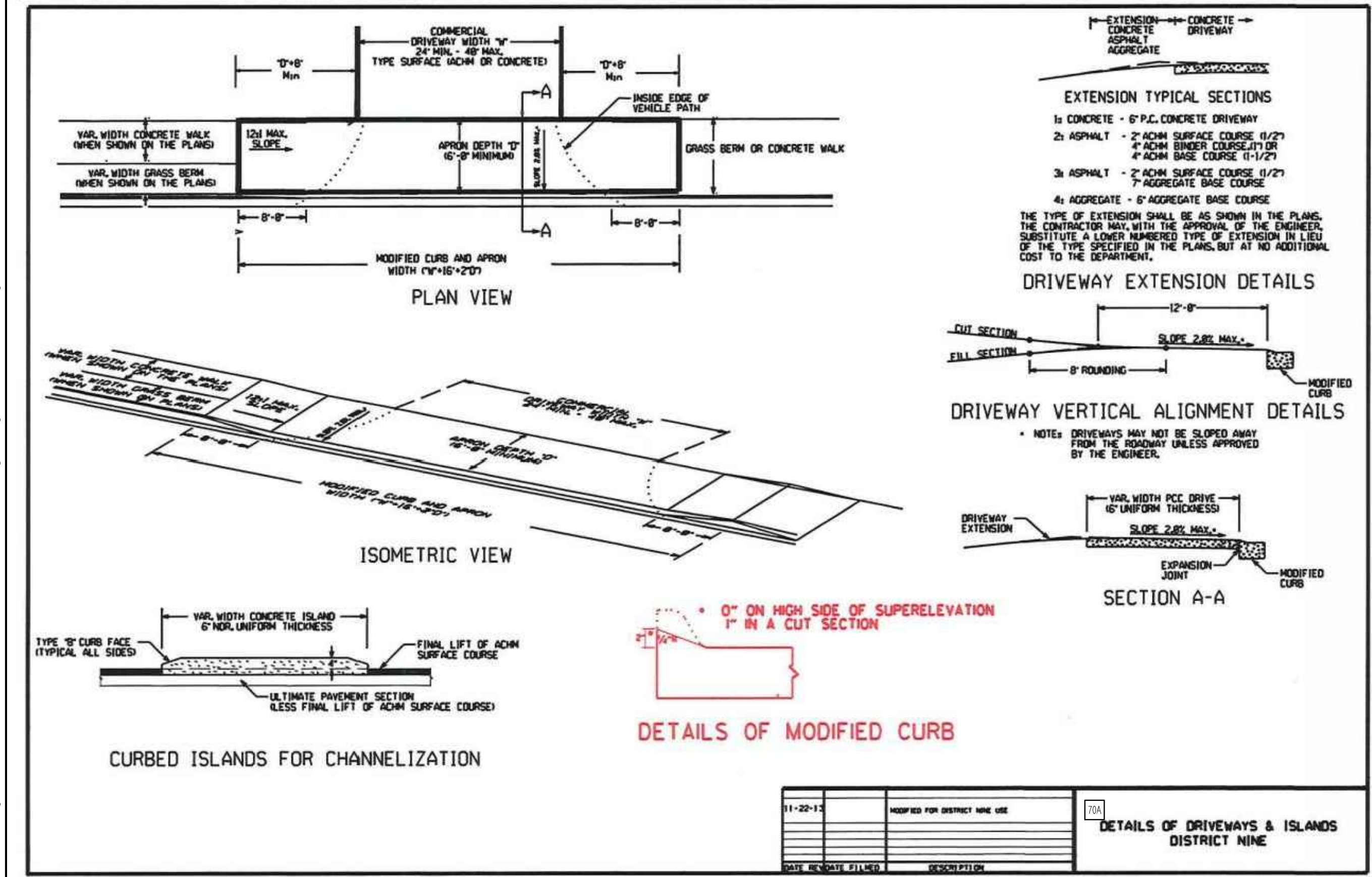
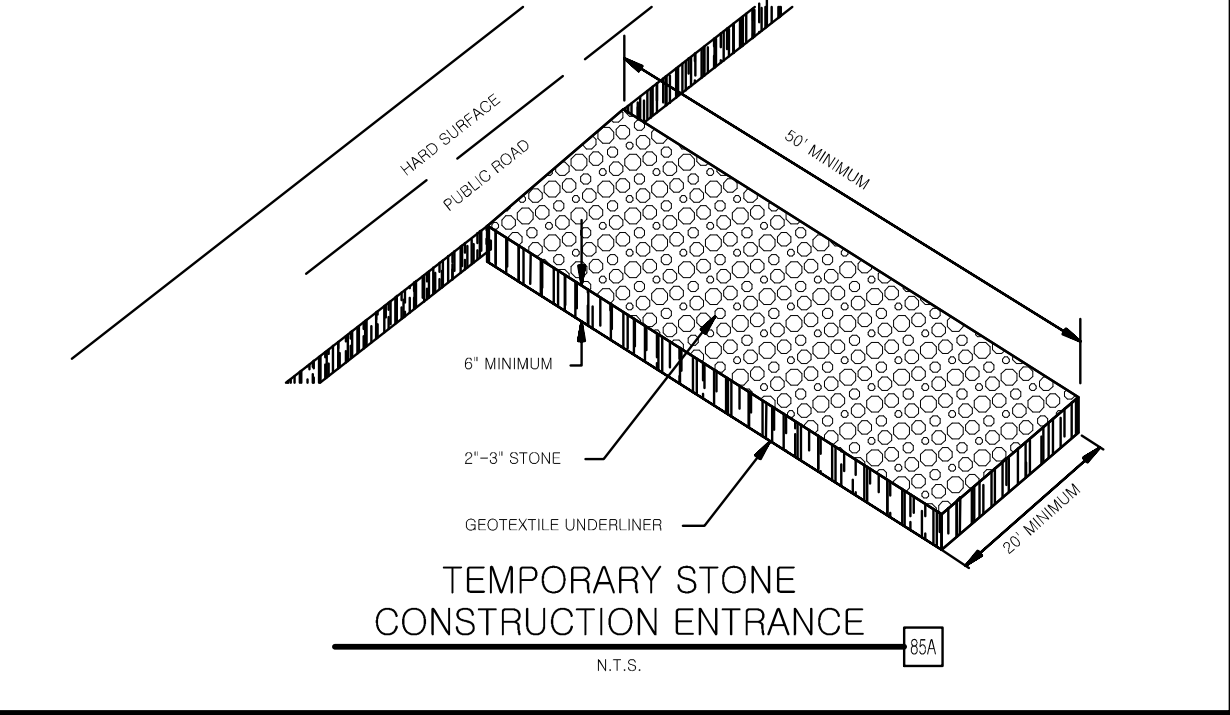
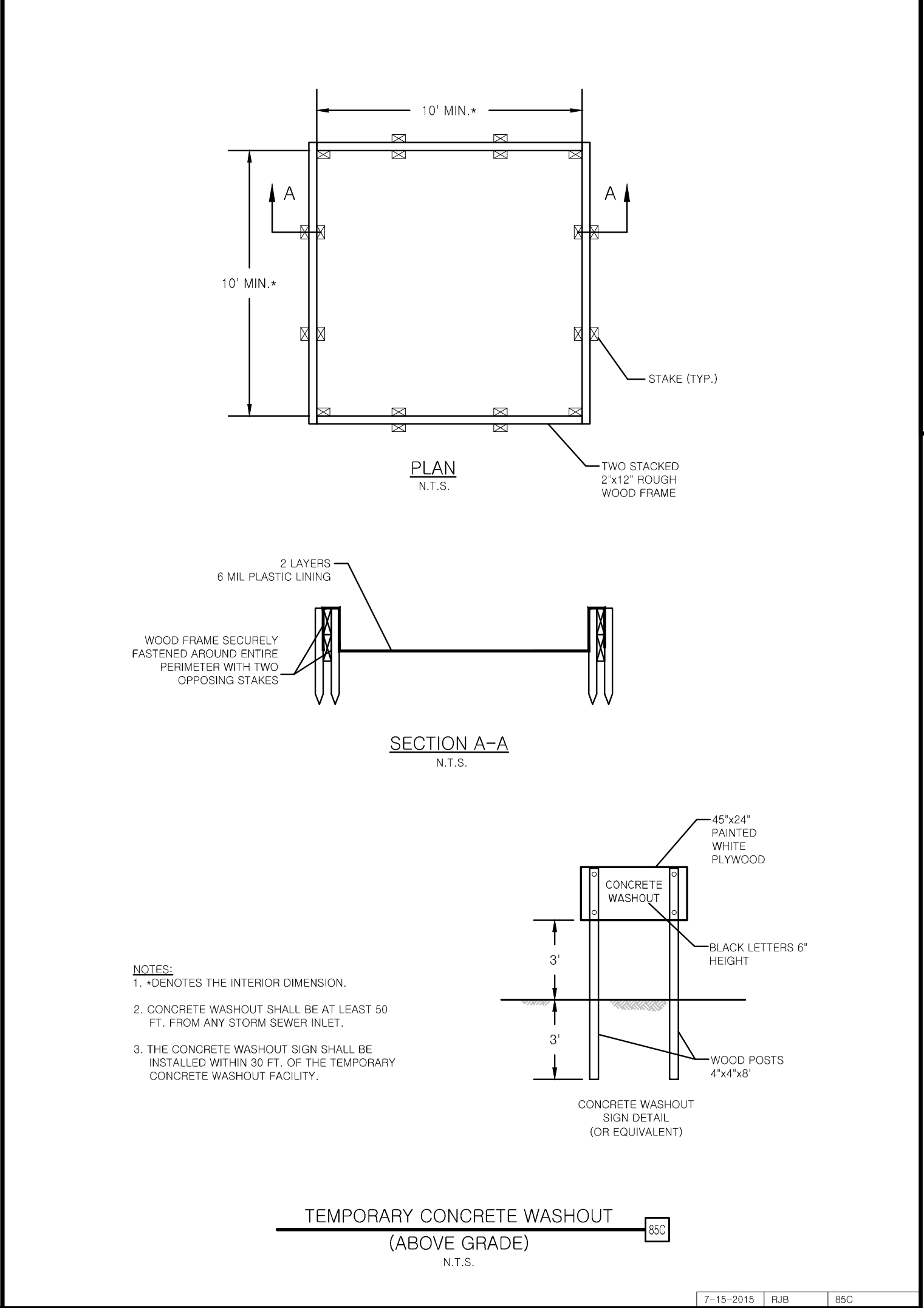
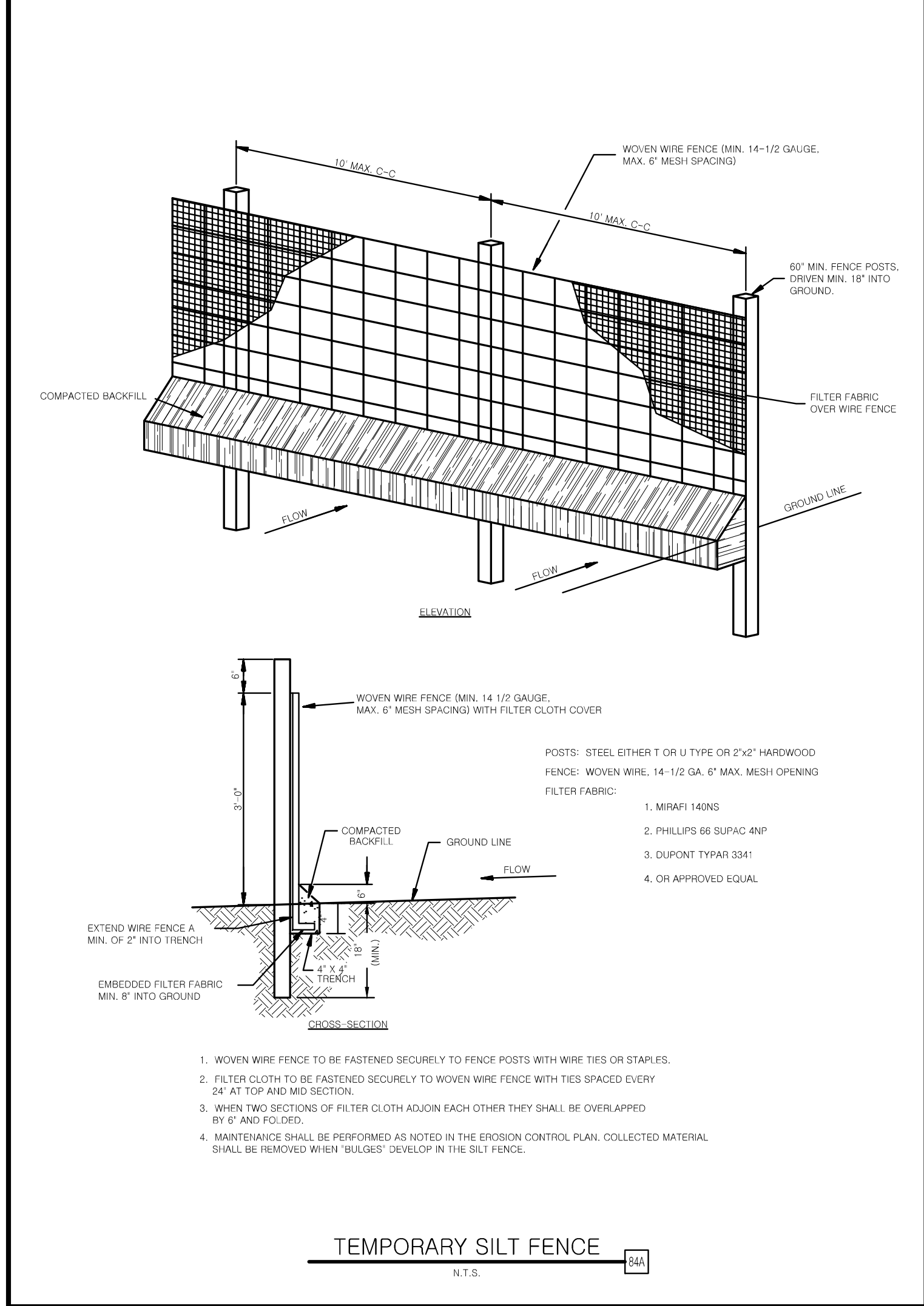



CURB CUT
N.T.S.



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(972) 468-6737 FAX (972) 468-6732					
HARBOR FREIGHT					
2707 W. WALNUT STREET					
ROGERS					
AR					
DETAIL SHEET 1					
REV DATE 11/24/15 REV-0				SHEET NO. C8	

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29128	11/24/15	ADS	B/D	JPS	JPS
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Engineering Associates, Inc.					
<u>ENGINEERS</u>		<u>PLANNERS</u>		<u>SURVEYORS</u>	
<u>LANDSCAPE ARCHITECTS</u>		<u>ENVIRONMENTAL SCIENTISTS</u>			
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ROGERS					
				AR	
DETAIL SHEET 2				REV. DATE 11/24/15 REV-0	
				SHEET NO. C9	

SWP-CI "Big Red"

Curb Inlet Protector

By ASP Enterprises and Storm Water Products



Specifications:

1. Infill Material: shredded recycled rubber tires
2. Weight: approx. 10 lbs per linear foot
3. Diameter: approx. 8"

Geotextile fabric made of durable high flow fabric with the following properties:

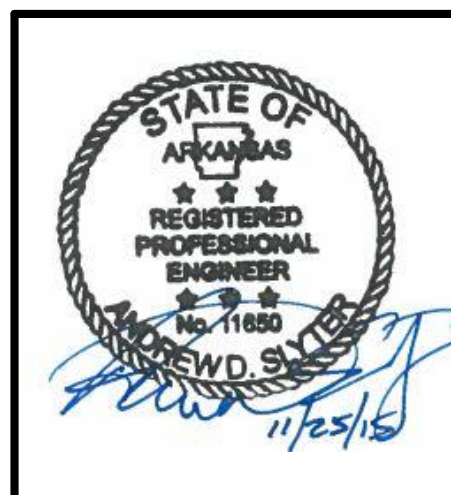
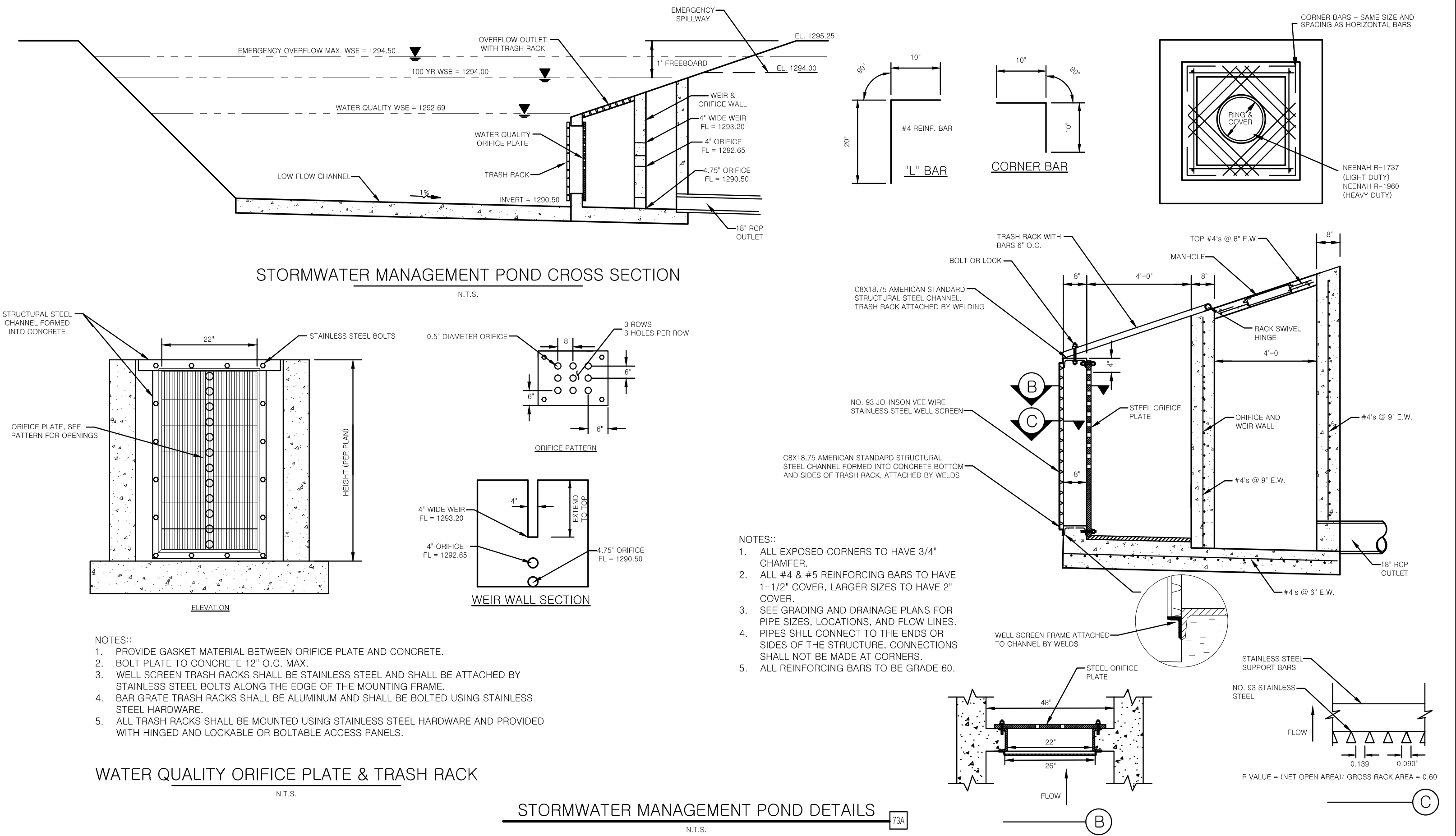
Property	Test Method	Units	Typical Value
Weight	ASTM D5261	oz/sq. yd	9.3
Grab Tensile Strength	ASTM D4632	lb	250
		warp fill	290
Tear Strength (Trapezoid)	ASTM D4533	lb	60
		warp fill	50
Burst	ASTM D3786	psi	440


(Efforts were made to determine flow rate-the fabric exceeded all capacities of the testing equipment)



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Dallas, TX 75234				FAX (972)488-6732	
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2707 W. WALNUT STREET					
ROGERS					
				AR	
REV DATE				SHEET NO.	
11/24/15				C10	
REV-0					
DETAIL SHEET 3					